

PRELIMINARY COVER PAGE
FOR
PRELIMINARY PRD OF WOODS CREEK HIGHLANDS
A PORTION OF NE 1/4 NE 1/4 NW 1/4 OF, SEC. 31, TWP. 28 N., RANGE 07 E., W.M.
CITY OF MONROE, SNOHOMISH COUNTY, WA

DATUM

WSDOT CONTROL POINT ID NO. 2423 (BM31002-66) WAS HELD FOR ELEVATION, BEING 72.24' (NAVD88). SITE BENCHMARK IS FOUND REBAR WITH CAP AT SW CORNER OF SUBJECT PARCEL. ELEVATION 335.28'.

BASIS OF BEARING

BASIS OF BEARINGS FOR THIS SURVEY IS THE WEST LINE OF THE NORTHWEST QUARTER OF SECTION 31, TOWNSHIP 28 NORTH, RANGE 6 EAST, W.M. PER THE PLAT OF SINCLAIR HEIGHTS, RECORDED UNDER AUDITOR'S FILE NO. 200405075141, RECORDS OF SNOHOMISH COUNTY, WASHINGTON, TAKEN AS NORTH 00°37'13" EAST.

LEGAL DESCRIPTION

TAX PARCEL: 28073100200400

ALL THAT PORTION OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 31, TOWNSHIP 28 NORTH, RANGE 7 EAST, WILLAMETTE MERIDIAN LYING NORTHERLY AND EASTERLY OF THE COUNTY ROAD;
EXCEPT THE SOUTHERLY MOST 60 FEET THEREOF;
AND EXCEPT THAT PORTION LYING WESTERLY OF THE FOLLOWING DESCRIBED LINE:

BEGINNING AT A POINT ON THE NORTH LINE OF SAID SUBDIVISION, 1,284.86 FEET NORTHEAST OF THE NORTHWEST CORNER;
THENCE SOUTH 36°37'41" WEST 650.49 FEET, MORE OR LESS, TO THE NORTH OF THE COUNTY ROAD AND THE TERMINATION OF SAID LINE;

SITUATE IN THE CITY OF MONROE, COUNTY OF SNOHOMISH, STATE OF WASHINGTON

EARTHWORK QUANTITIES

CUT- 12,000 CY
FILL- 12,500 CY

(EARTHWORK QUANTITIES ARE FOR PERMITTING PURPOSES ONLY. CONTRACTOR SHALL VERIFY EXACT QUANTITIES PRIOR TO CONSTRUCTION.)

SITE ADDRESS

13327 CHAIN LAKE ROAD, MONROE, WA 98272

LOT RANGE AREAS (18.84.080(O) MMC)

4,000 - 4,999 SF 17 LOTS 71%
4,999 < SF 7 LOTS 29%

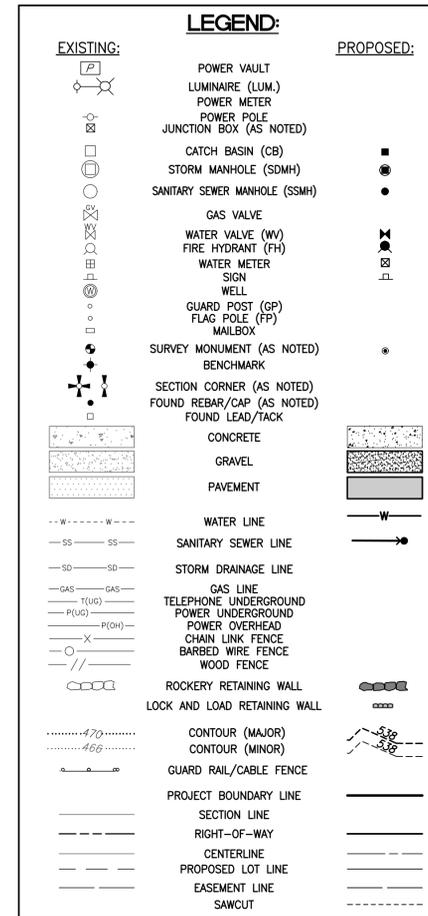
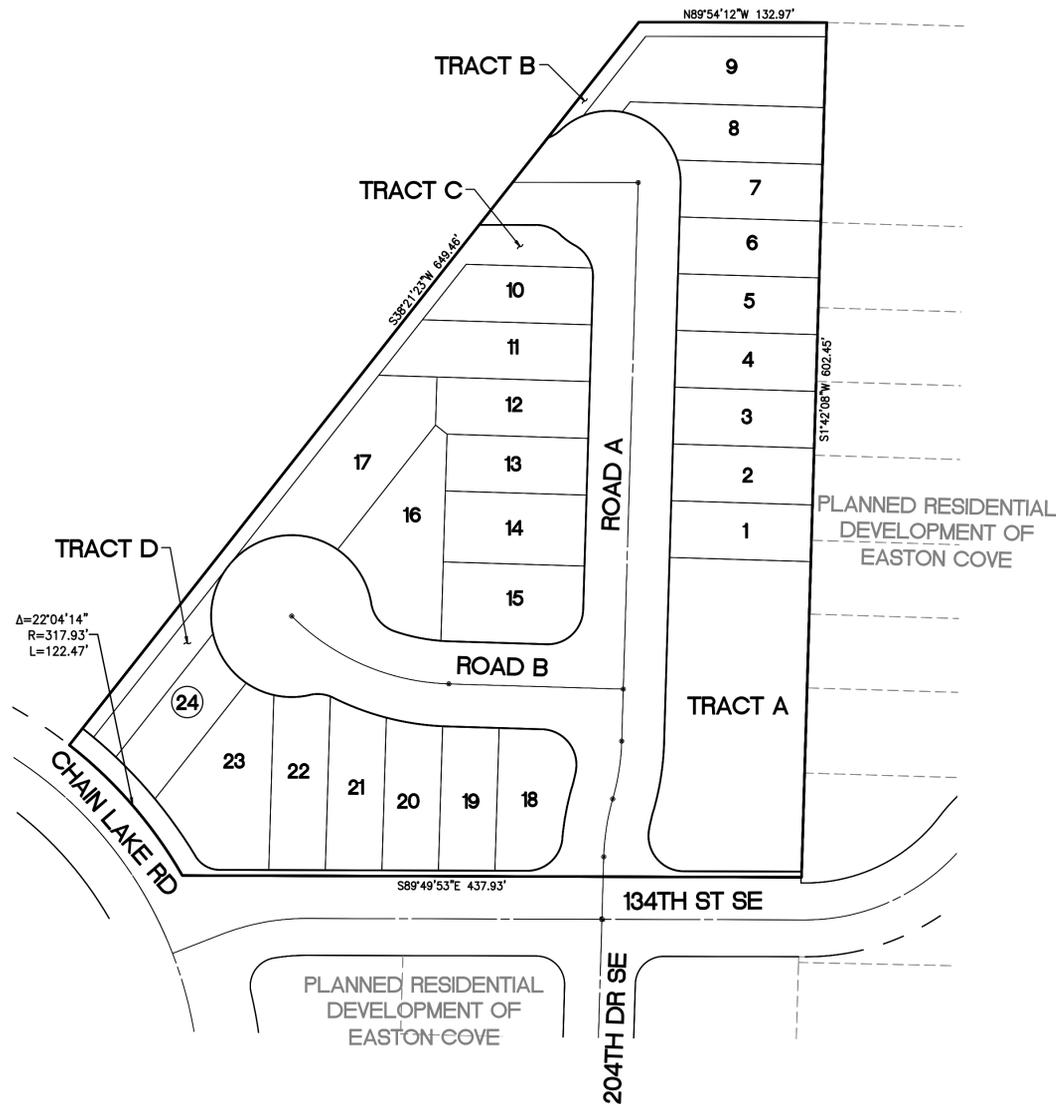
18.84.080(O) MMC. A PRD LOCATED WITHIN THE R-4 ZONING DISTRICT CONTAINING LESS THAN SIX GROSS ACRES MUST CONTAIN A MINIMUM OF TWO LOT SIZES SEPARATED BY AT LEAST A ONE THOUSAND SQUARE FEET THRESHOLD. NO SINGLE LOT SIZE MAY MAKE UP LESS THAN TWENTY-FIVE PERCENT OF THE TOTAL LOTS.

RECREATION AREA CALCULATION TABLE		
MMC 18.84.080 (A)		
TRACT NAME	PARK AREA	
A PARK AND RECREATION USABLE OPEN SPACE	22,298 SF	0.51 AC
PARK (RECREATION) AREA REQUIRED 24 LOTS @ 900 SF/LOT	21,600 SF	0.50 AC
PARK (RECREATION) AREA PROVIDED	22,298 SF	0.51 AC

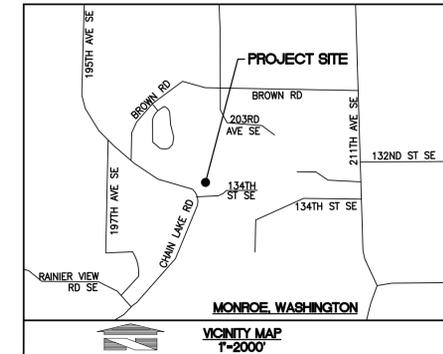
TRACT AREA TABLE		
TRACT	AREA	USE
A	22,298 SF	DRAINAGE FACILITY/RECREATION
B	2,176 SF	OPEN SPACE
C	6,450 SF	OPEN SPACE
D	2,597 SF	EMERGENCY VEHICLE ACCESS
TOTAL TRACT AREA	33,521 SF, 0.77 AC	

SERVICES

WATER CITY OF MONROE
SEWER CITY OF MONROE
PUBLIC SCHOOLS MONROE SCHOOL DISTRICT NO. 103
FIRE PROTECTION MONROE F.P.D. #7
ELECTRICITY SNOHOMISH COUNTY P.U.D. #1
NATURAL GAS PUGET SOUND ENERGY SERVICES



Received 11/19/2019



NOTES

- SITE AREA:
(PHASING PURSUANT TO 18.84.190 MMC)
- EXISTING USE: AREA 210,326 SF (4.83± AC.)
(TAX PARCEL: 28073100200400)
 - PROPOSED USE: 24 SINGLE FAMILY LOTS
 - EXISTING ZONING: R4 (4 DU/ACRE)
 - EXISTING COMPREHENSIVE PLAN DESIGNATION: LOW DENSITY SFR
 - PROPOSED MIN. LOT WIDTH: 40 FEET
 - REQUIRED MIN. LOT WIDTH: 30 FEET
 - PROPOSED MINIMUM LOT AREA: 4,000 S.F.
 - PROPOSED AVERAGE LOT SIZE 4,854 S.F.
 - MAXIMUM ALLOWABLE BASE DENSITY: R4 ZONE (18.10.010 MMC)
(4.83 X 4 = 19.32)
 - BONUS DENSITY ALLOWED FOR PRD (18.84.080(K)(2) MMC)
(19.32 x 0.30 = 5.79 + 19.32 = 25.11) = 25 UNITS
 - PROPOSED UNITS: 24
 - REQUIRED MIN. SETBACKS: (18.10.140 MMC)
FRONT/LIVING AREA: 10 FEET
GARAGE: 20 FEET
FRONT/SIDEYARD: 5 FEET
REAR: 10 FEET
 - MAX BASE HEIGHT OF BUILDINGS: 35 FEET (18.10.140 MMC)
 - MAX LOT COVERAGE: 60 PERCENT (18.10.140 MMC)
 - TOTAL LOT AREA: 116,504 S.F. (2.67 AC)
 - TOTAL TRACT AREA: 33,521 S.F. (0.77 AC)
 - TOTAL R.O.W. AREA: 60,296 S.F. (1.38 AC)
 - SOURCE OF BOUNDARY AND TOPOGRAPHY: FIELD VERIFIED BY BARGHAUSEN CONSULTING ENGINEERS, INC., OCTOBER 5, 2018.

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ENGINEER/PLANNER/SURVEYOR

BARGHAUSEN CONSULTING ENGINEERS, INC.
18215 72nd Ave. South
KENT, WA 98032
(425) 251-6222
FAX (425) 251-8782
CONTACT: BARRY TALKINGTON, P.E./GEORGE NEWMAN, A.I.C.P./LES HILLEBRAND, P.L.S.

TRAFFIC

TRANSPGROUP
12131 113TH AVE NE, SUITE 203
KIRKLAND, WA 98034
(425) 821-3665
CONTACT: KEVIN JONES, P.E.

APPLICANT/OWNER

WOODS CREEK DEVELOPMENT, INC.
EMILY HEENAN
800 5TH AVE
#101-155
SEATTLE, WA 98104

GEOTECH

ASSOCIATED EARTH SCIENCES, INC.
911 5TH AVE
KIRKLAND, WA 98033
(425) 827-7701
CONTACT: BRUCE GUENZLER, L.G., L.E.G.

No.	Date	By	Appr.	Revisions Per City Comments
1	11/25/19	VV	BIT	BIT

Title: PRELIMINARY COVER PAGE
FOR
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WOODS CREEK HIGHLANDS

For: WOODS CREEK DEVELOPMENT, INC.
800 5TH AVE, #101-155
SEATTLE, WA 98104



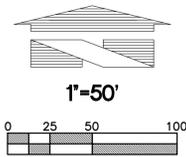
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Date: 12/14/19

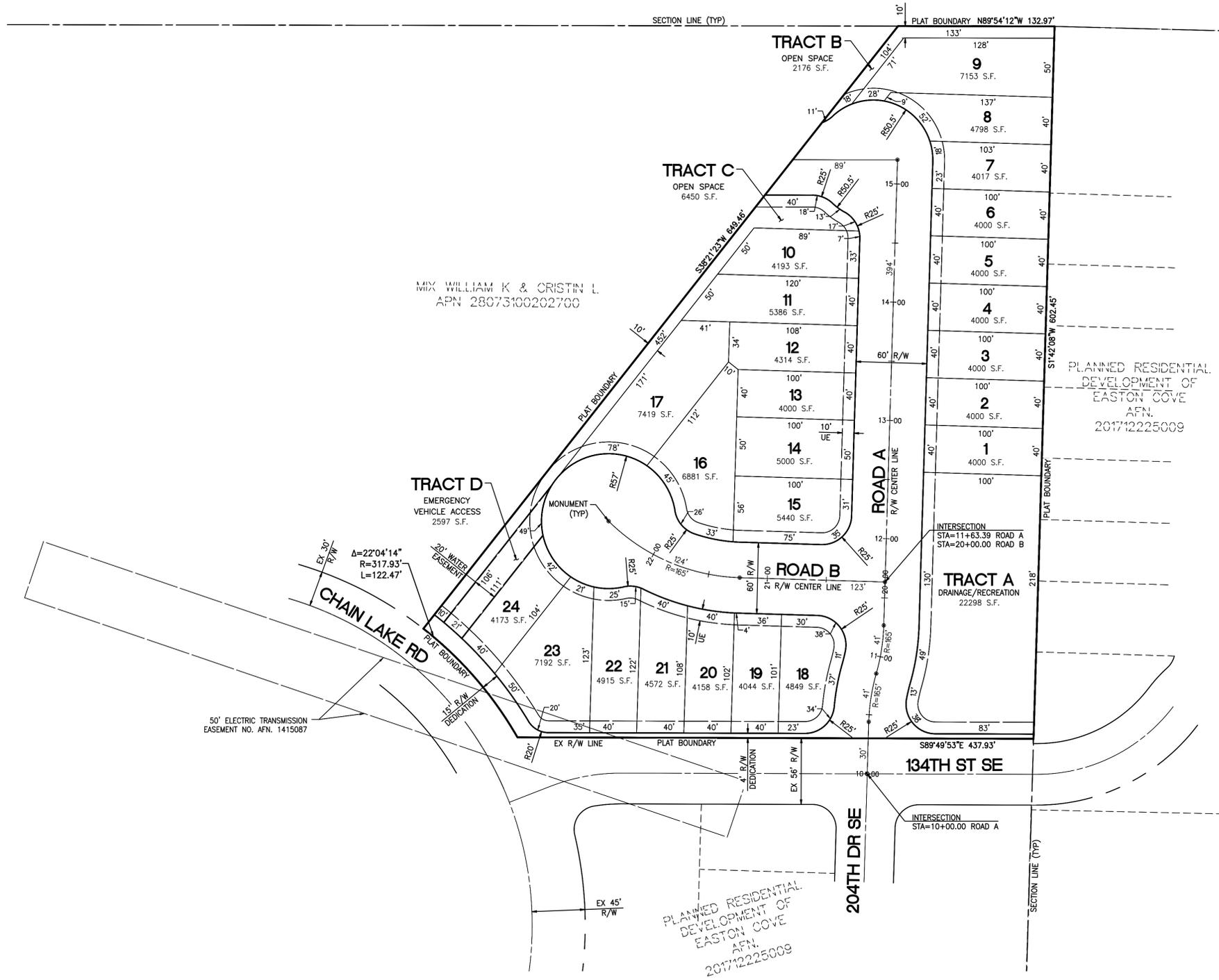
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CIVIL ENGINEERING, LAND-PLANNING,
SURVEYING, ENVIRONMENTAL SERVICES



Job Number: 20354
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PRELIMINARY PLAT MAP
FOR
PRELIMINARY PRD OF WOODS CREEK HIGHLANDS
A PORTION OF NE 1/4 NE 1/4 NW 1/4 OF, SEC. 31, TWP. 28 N., RANGE 07 E., W.M.
CITY OF MONROE, SNOHOMISH COUNTY, WA



- ABBREVIATIONS:**
- UE UTILITY EASEMENT (ALL UTILITIES PUBLIC AND PRIVATE)
 - SDE PUBLIC STORM DRAINAGE EASEMENT
 - PSDE PRIVATE STORM DRAINAGE EASEMENT
 - WLE PUBLIC WATERLINE EASEMENT
 - SSE PUBLIC SANITARY SEWER EASEMENT
 - R/W RIGHT-OF-WAY
 - SAT SENSITIVE AREA TRACT
 - BSBL BUILDING SETBACK LINE
 - SF SQUARE FEET
 - SWE SIDEWALK EASEMENT

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1	14/25/19	VW	BJT	

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WOODS CREEK HIGHLANDS**

For: **WOODS CREEK DEVELOPMENT, INC.**
800 5TH AVE, #101-155
SEATTLE, WA 98104



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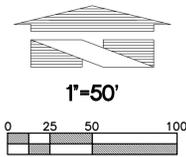
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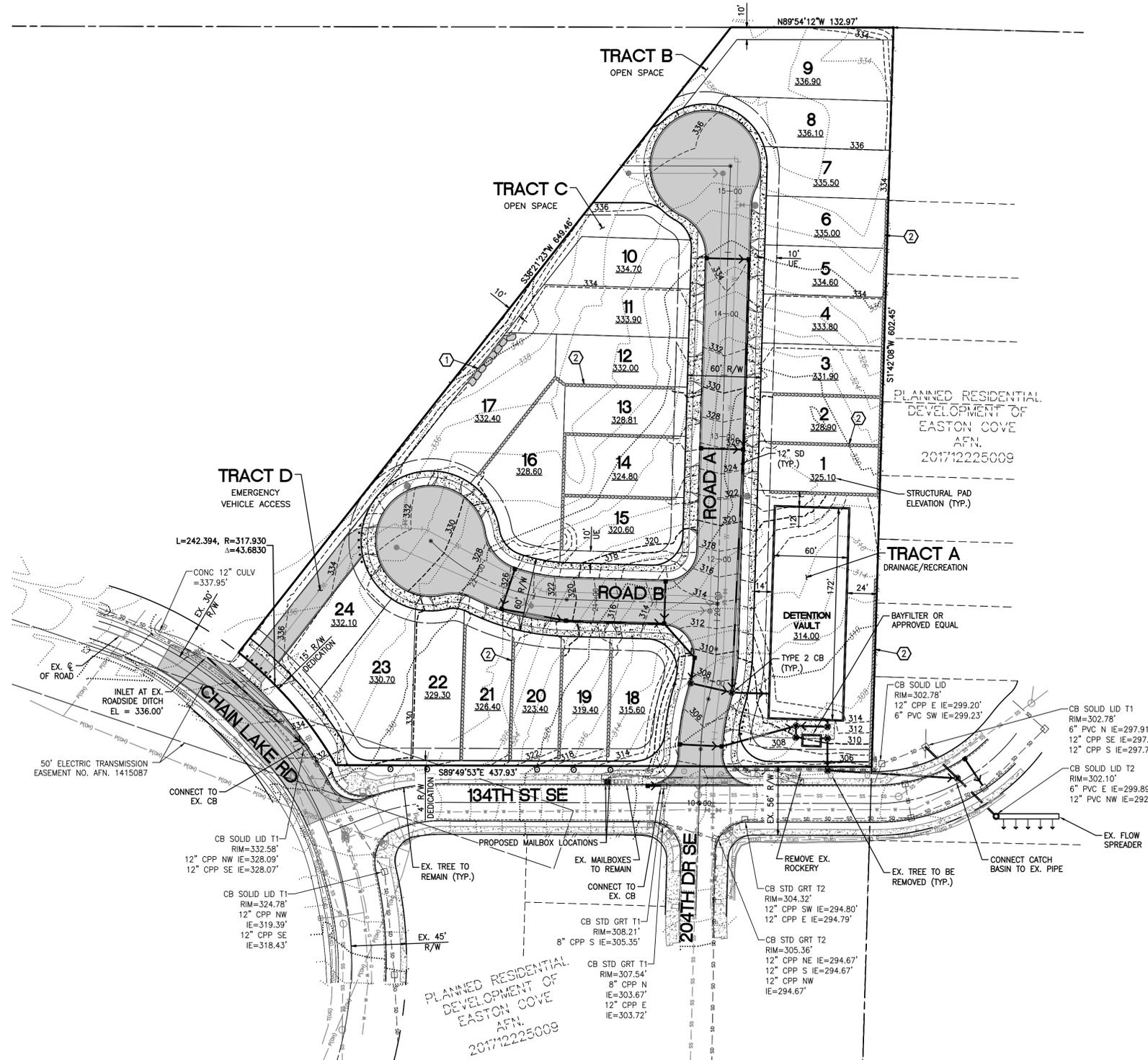
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PRELIMINARY GRADING AND DRAINAGE PLAN
FOR
PRELIMINARY PRD OF WOODS CREEK HIGHLANDS
A PORTION OF NE 1/4 NE 1/4 NW 1/4 OF, SEC. 31, TWP. 28 N., RANGE 07 E., W.M.
CITY OF MONROE, SNOHOMISH COUNTY, WA



LEGEND		
	EXISTING	PROPOSED
MAJOR CONTOUR		
MINOR CONTOUR		
CATCH BASIN		
STORM PIPE		
CONCRETE		
ASPHALT		
GRAVEL		

**TRACT A
PROPOSED DRAINAGE FACILITY**

DETENTION VAULT
TOP OF VAULT EL = 309.00
DESIGN WATER SURFACE EL = 307.00
STATIC WATER SURFACE EL = 299.00
BOTTOM OF VAULT EL = 298.50
DETENTION VAULT VOLUME PROVIDED = 83,000 CF

- CONSTRUCTION NOTES**
- ① PROPOSED ROCKERY
 - ② PROPOSED LOCK AND LOAD WALL

No.	Date	By	Chd.	Appr.	REVISIONS PER CITY COMMENTS
1	14/25/19	VW	BJT	BJT	

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**PRELIMINARY GRADING AND DRAINAGE PLAN
FOR
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WOODS CREEK HIGHLANDS**

For:
WOODS CREEK DEVELOPMENT, INC.
800 5TH AVE, #101-155
SEATTLE, WA 98104



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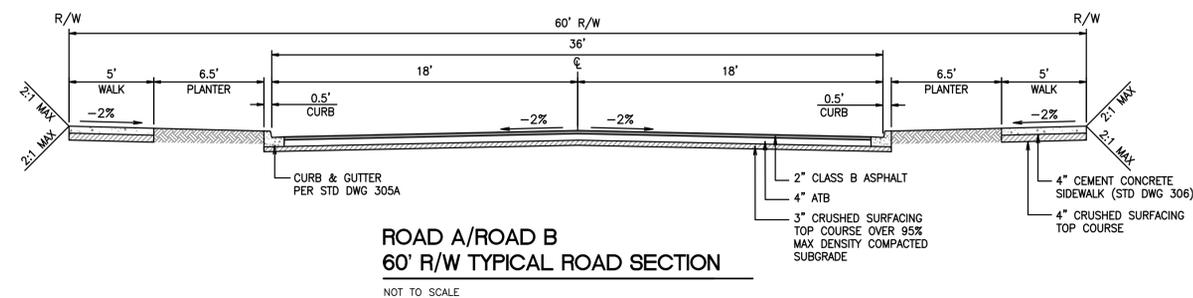
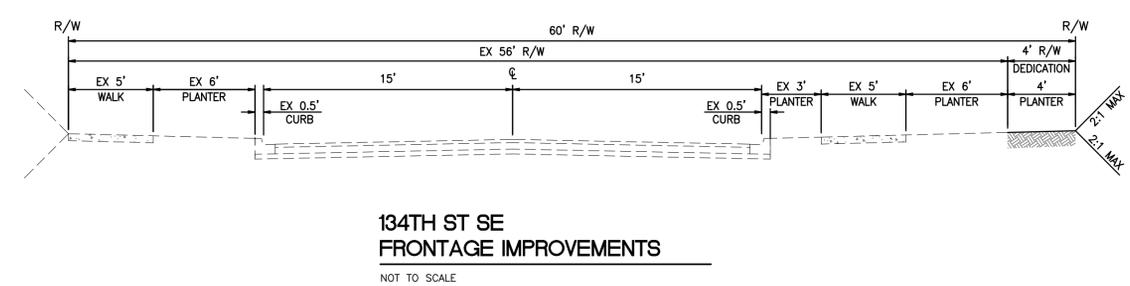
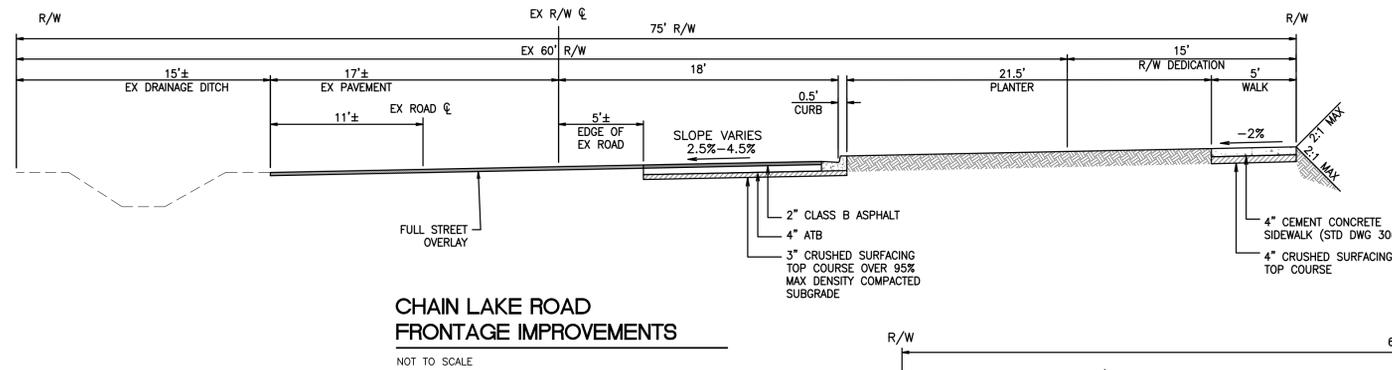
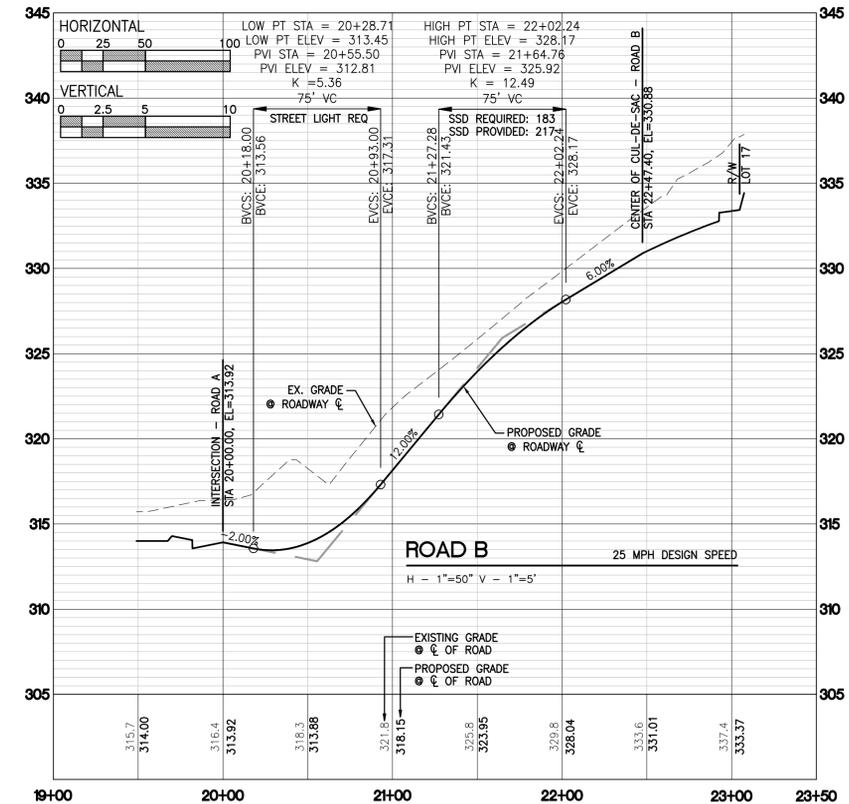
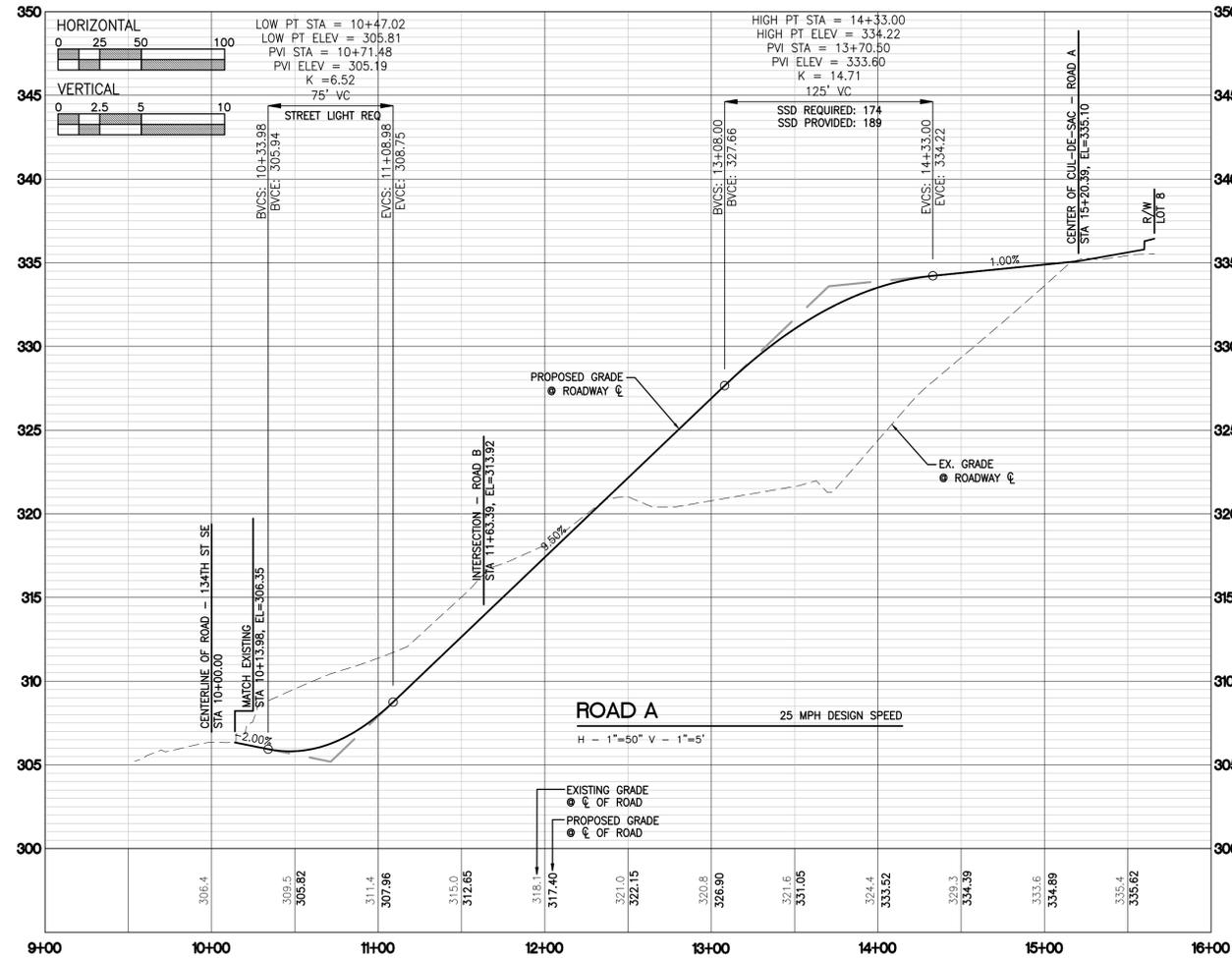


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PRELIMINARY ROAD PROFILES AND DETAILS
FOR
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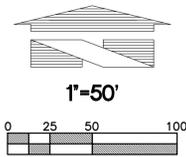
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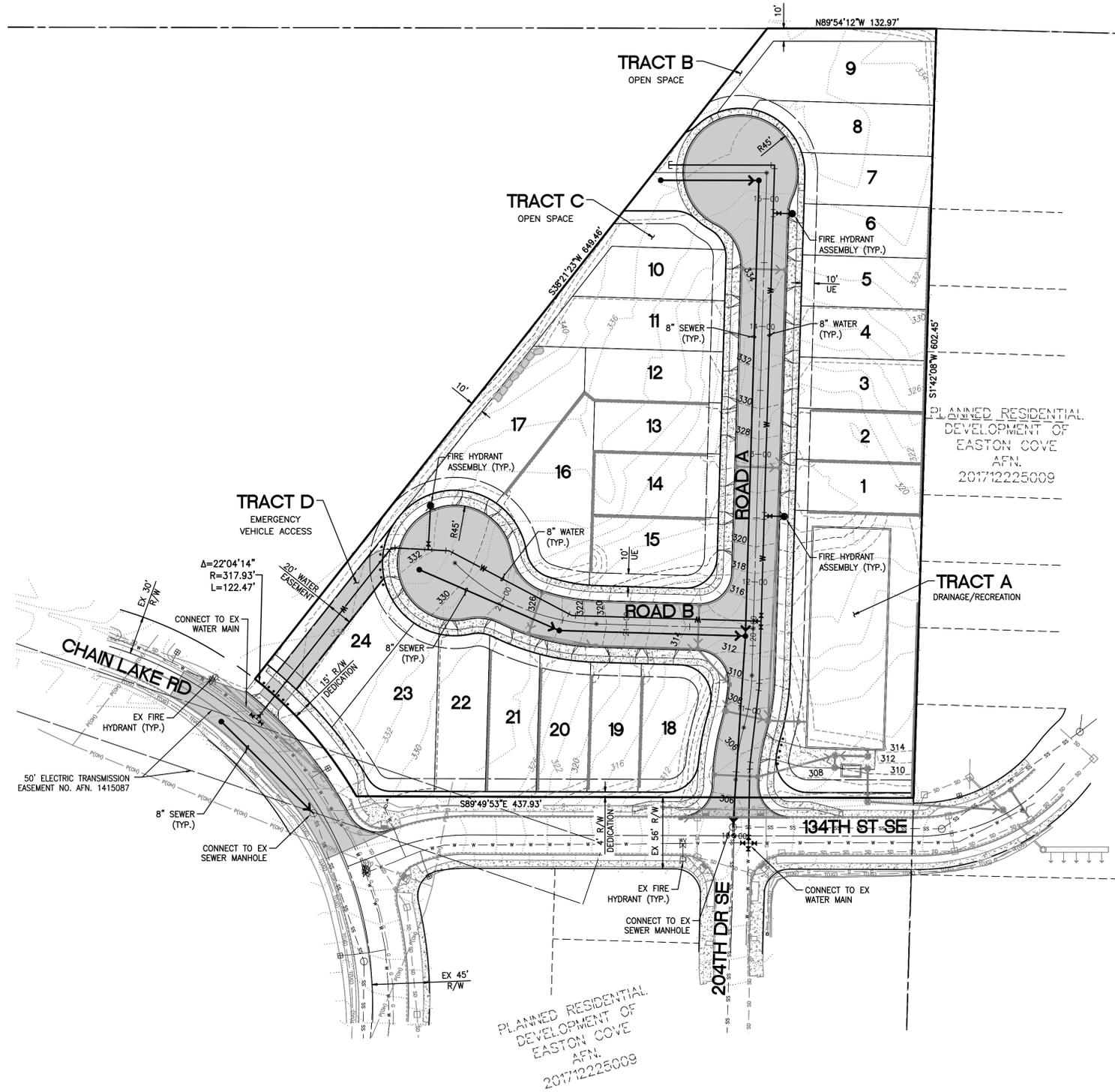
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PRELIMINARY SEWER AND WATER PLANS
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CITY OF MONROE, SNOHOMISH COUNTY, WA

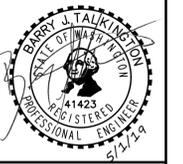


LEGEND		
	EXISTING	PROPOSED
MAJOR CONTOUR		
MINOR CONTOUR		
CATCH BASIN		
STORM PIPE		
WATER		
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ASPHALT		

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800 5TH AVE, #101-155
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LANDSCAPE NOTES AND REQUIREMENTS

FOR PRELIMINARY PLAT OF WOODS CREEK HIGHLANDS

CITY OF MONROE, SNOHOMISH COUNTY, WA

LIST OF LANDSCAPE ABBREVIATIONS

ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE
ARCH	ARCHITECTURAL DOCUMENTS
B&B	BALLED AND BURLAPPED
BC	BOTTOM OF CURB
BW	BOTTOM OF WALL
BOC	BACK OF CURB
CAL	CALIPER
CIVIL	CIVIL ENGINEERING DOCUMENTS
CONT	CONTAINER
CY	CUBIC YARDS
DBH	DIAMETER AT BREAST HEIGHT
DEMO	DEMOLITION
DIA	DIAMETER
DT	DROUGHT TOLERANT
DTLS	DETAIL DRAWINGS
ESMT	EASEMENT
ELEC	ELECTRICAL DOCUMENTS
EX	EXISTING
FOC	FACE OF CURB
FT	FEET
GAL	GALLON
HT	HEIGHT
LF	LINEAR FEET
LIM	LIMIT OF WORK
MAX	MAXIMUM
MECH	MECHANICAL DOCUMENTS
MIN	MINIMUM
N/A	NOT APPLICABLE
NIC	NOT IN CONTRACT
OC	ON CENTER
OAE	OR APPROVED EQUAL
P&P	PRESERVE AND PROTECT
PA	PLANTING AREA
PH	PHASE
POC	POINT OF CONNECTION
PRECON	PRE-CONSTRUCTION
PROP	PROPOSED
PT	PRESSURE TREATED
REP	REPRESENTATIVE
REQ	REQUIREMENTS
SIG	SIGNIFICANT
SPEC	SPECIFICATIONS
SF	SQUARE FEET
TEMP	TEMPORARY
TC	TOP OF CURB
TP	TREE PROTECTION
TW	TOP OF WALL
TYN	TYPICAL
UON	UNLESS OTHERWISE NOTED
WD	WIDTH

LANDSCAPE NOTES AND REQUIREMENTS

- ALL LANDSCAPE WORK SHALL COMPLY WITH LOCAL JURISDICTIONAL REQUIREMENTS. IF THERE IS A CONFLICT BETWEEN JURISDICTIONAL REQUIREMENTS AND THE CONTRACT DOCUMENTS, CONSTRUCTION DRAWINGS, NOTES, DETAILS, OR ANY OTHER DOCUMENTATION FOR THE WORK TO BE UNDERTAKEN, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING IMMEDIATELY FOR CLARIFICATION.
 - COORDINATE NOTES, DETAILS, AND DRAWINGS PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL REVIEW THE SITE AND CONSTRUCTION DOCUMENTS AND IMMEDIATELY REPORT DISCREPANCIES TO THE LANDSCAPE ARCHITECT.
 - CONTRACTOR SHALL BE SKILLED AND KNOWLEDGEABLE IN THE FIELD OF WORK AND HAVE A MINIMUM OF FIVE (5) YEARS OF EXPERIENCE INSTALLING SIMILAR WORK. CONTRACTOR SHALL BE LICENSED TO PERFORM THE WORK SPECIFIED WITHIN THE PRESIDING JURISDICTION.
 - CONTRACTOR TO FURNISH ALL MATERIALS, LABOR, EQUIPMENT, AND RELATED ITEMS NECESSARY TO ACCOMPLISH TOPSOIL, TREATMENT, AND PREPARATION OF SOIL, FINISH GRADE, PLACEMENT OF SPECIFIED PLANT MATERIALS, COMPOST, STAKING, MULCH, CLEAN-UP, DEBRIS REMOVAL, AND 90 DAYS MAINTENANCE PER TREE, SHRUB, AND OTHER WOODY PLANT MANAGEMENT - STANDARD PRACTICES, LATEST EDITION (ANSI A300).
 - CONTRACTOR SHALL USE FULL SIZE CONSTRUCTION DOCUMENTS IN THE FIELD AT ALL TIMES.
 - CONTRACTOR SHALL KEEP ALL PAVEMENT CLEAN AND WORK AREAS IN AN ORDERLY CONDITION. PROTECT LANDSCAPE WORK AND MATERIALS FROM DAMAGE DUE TO LANDSCAPE OPERATIONS AND TRESPASSERS. CONTRACTOR SHALL REPAIR AREAS DAMAGED DUE TO CONSTRUCTION INCLUDING DAMAGE TO EXISTING IRRIGATION SYSTEMS. IF PRESENT, TO MATCH CONDITIONS PRIOR TO THE START OF CONSTRUCTION. MAINTAIN LANDSCAPE PROTECTION DURING INSTALLATION AND MAINTENANCE PERIOD. TREAT, REPAIR, OR REPLACE DAMAGED LANDSCAPE WORK AS DIRECTED BY OWNER'S REPRESENTATIVE.
 - ALL LANDSCAPE MATERIALS AND FINISH GRADES ARE SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITECT.
- SUBMITTALS**
- SUBMIT FIVE (5) COPIES OF THE FOLLOWING TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO THE START OF ANY WORK:
 - DOCUMENTATION THAT ALL PLANT MATERIAL HAS BEEN ORDERED
 - TOPSOIL ANALYSIS AND RECOMMENDED AMENDMENTS
 - TREE STAKING AND GUYING MATERIALS
 - ONE (1) QUART SIZE SAMPLES OF TOPSOIL AND MULCH
 - PLANTING SCHEDULE INCLUDING DATES AND TIMES
 - MAINTENANCE INSTRUCTIONS FOR ONE (1) FULL YEAR
- UTILITIES**
- CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARITY WITH ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE OF SAID UTILITIES. VERIFY ALL UTILITY LOCATIONS, PADS, AND APPURTENANCES PRIOR TO CONSTRUCTION. DO NOT BLOCK ACCESS TO UTILITY STRUCTURES. REPORT DISCREPANCIES IMMEDIATELY TO LANDSCAPE ARCHITECT AND OWNER'S REP.
 - TREE LOCATIONS TO BE COORDINATED WITH EXISTING AND PROPOSED UNDERGROUND UTILITIES TO ACHIEVE SEPARATION PER JURISDICTIONAL REQUIREMENTS. IF NO JURISDICTIONAL REQUIREMENTS, ALL TREES TO BE LOCATED MIN 10 FT FROM ALL UNDERGROUND UTILITIES. VERIFY UTILITY LOCATIONS PRIOR TO PLANTING TREES. NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY IF PROPOSED TREE LOCATIONS CONFLICT WITH UTILITY LOCATIONS.
- MAINTENANCE**
- CONTRACTOR TO PROVIDE OWNER'S REP WITH A SCOPE OF WORK AT TIME OF INITIAL PROJECT BID TO PROVIDE LANDSCAPE AND IRRIGATION MAINTENANCE FOR 90 DAYS FOLLOWING COMPLETION OF PROJECT (ACCEPTANCE) OF FACILITY BY OWNER'S REP. PLANTING MAINTENANCE TO INCLUDE WATERING, WEEDING, CULTIVATING, TIGHTENING, REPAIRING OF TREE GUYS AND/OR STAKES, RESETTling PLANTS TO PROPER GRADES OR POSITION, RE-ESTABLISHING SETTLED GRADES, AND MOWING LAWNS WEEKLY AFTER LAWN ESTABLISHMENT. HERBICIDES IS NOT RECOMMENDED FOR ONE YEAR FOLLOWING LANDSCAPE INSTALLATION.
 - CONTRACTOR SHALL GUARANTEE ALL LANDSCAPE AND PLANT MATERIAL FOR A PERIOD OF ONE (1) YEAR FROM DATE OF FINAL ACCEPTANCE OF THE WORK BY OWNER'S REP. BEGIN MAINTENANCE IMMEDIATELY FOLLOWING INSTALLATION. MAINTAIN THE PLANTING AREAS FOR ONE (1) YEAR AFTER ACCEPTANCE OF INSTALLATION BY OWNER'S REP.
 - REPAIR ALL EXISTING PLANTING AREAS BY REMOVING INVASIVE SPECIES, PRUNING DEAD GROWTH, RE-ESTABLISHING FINISH GRADE, AND RE-MULCHING TO SPECIFIED DEPTH FOLLOWING RECOMMENDATIONS PER ANSI A300.
 - PLANT ESTABLISHMENT PROCEDURES INCLUDE WATERING, PROTECTION FROM INSECTS OR DISEASE, WEEDING, PRUNING, MOWING, AND OTHER ACTIVITIES AS REQUIRED AND AS IDENTIFIED IN NOTES.
 - CONTRACTOR TO REPLACE DEAD PLANTS AND PLANTS SHOWING LOSS OF 40 PERCENT OR MORE OF CANOPY AT NO ADDITIONAL COST TO OWNER. IMMEDIATELY REPLACE DEFECTIVE MATERIALS AS DETERMINED BY OWNER'S REP OR LANDSCAPE ARCHITECT WITH PLANT MATERIALS OF THE SAME SPECIES AT A SIZE TO MATCH EXISTING ADJACENT MATERIALS.
 - UPON COMPLETION OF THE WARRANTY/PLANT ESTABLISHMENT PERIOD, APPLY 3" MULCH (1.5" BARK OR WOOD CHIP MULCH ON TOP OF 1.5" FINE COMPOST. SEE DETAILS) TO ALL PLANTING AREAS.
 - ANTI-DESICCANT TO BE "WILT-PROOF," FORTY-EIGHT (48) HOURS PRIOR TO SHIPMENT TO SITE FROM JUNE 1ST THROUGH SEPTEMBER 30TH, THOROUGHLY ROOT WATER PLANTS PRIOR TO DELIVERY. PLANT MATERIAL DELIVERED TO SITE TO BE KEPT CONTINUALLY MOIST THROUGH INSTALLATION.
 - UPON COMPLETION OF THE WARRANTY PERIOD, SUBMIT A WRITTEN REQUEST FOR FINAL INSPECTION TO THE OWNER'S REP. CONTRACTOR TO REPLACE OR REPAIR DEFICIENT ITEMS NOTED IN THE INSPECTION. CONTRACTOR ATTENDANCE IS REQUIRED AT SECOND INSPECTION WITH OWNER'S REP. OWNER'S REP TO ISSUE NOTICE OF ACCEPTANCE TO THE CONTRACTOR WHEN ALL WORK IS COMPLETED AND ACCEPTED.

SOIL PREPARATION NOTES AND REQUIREMENTS

- GENERAL REQUIREMENTS**
- CONTRACTOR SHALL SUPPLY ALL SOILS, COMPOST, MULCHES, AND RELATED MATERIALS. CONTRACTOR SHALL DETERMINE THE VOLUME OF MATERIALS REQUIRED PER THE INFORMATION ON PLANS, DETAILS, AND NOTED HERE-IN.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ANY NECESSARY WEED CONTROL RESULTING FROM CONTAMINATED OFF-SITE MATERIAL SOURCES.
 - ALL LANDSCAPE AREAS, AREAS OF BARE SOIL, AREAS IMPACTED BY VEHICULAR USE OF ANY KIND, OR STORAGE OF MATERIALS OUTSIDE OF THE CLEARING LIMITS SHALL RECEIVE FULL SUBGRADE PREPARATION, INCLUDING COMPOST AND AMENDMENTS.
 - CONTRACTOR SHALL ACCOMMODATE ANY FLUFF FACTOR OR SETTLING OF SOILS. DEPTHS SHOWN ARE MINIMUMS.
 - AFTER ROUGH GRADING AND PRIOR TO SOIL PREPARATION, CONTRACTOR SHALL SEND TWO (2) REPRESENTATIVE SOIL SAMPLES FROM LOCATIONS AS DIRECTED BY THE LANDSCAPE ARCHITECT TO TESTING LABORATORY FOR TEST #A05-2. SUBMIT RESULTS TO LANDSCAPE ARCHITECT FOR REVIEW. TESTS TO INCLUDE FERTILITY AND SUITABILITY ANALYSIS WITH WRITTEN RECOMMENDATIONS FOR SOIL AMENDMENT, FERTILIZER, CONDITIONERS, APPLICATIONS RATES, AND POST-CONSTRUCTION MAINTENANCE PROGRAM. TESTS TO BE CONTRACTED WITH AND PAID FOR BY THE CONTRACTOR.
 - SOIL AMENDMENTS AND FERTILIZER NOTED BELOW ARE TO BE USED FOR BID PRICE BASIS ONLY. SPECIFIC AMENDMENTS AND FERTILIZERS WILL BE MADE AFTER SOIL SAMPLES ARE LABORATORY TESTED BY THE CONTRACTOR. CONTRACTOR SHALL PROVIDE CHANGE ORDER FOR ADDITION OR REDUCTION OF MATERIALS REQUIRED OR NOT REQUIRED BY THE SOILS REPORT.
- MATERIALS**
- TOPSOIL TO CONSIST OF EQUAL PARTS BY VOLUME SANDY LOAM, COMPOST, AND COARSE-WASHED SAND OR EQUIVALENT, PROCESSED THROUGH A 1/2" SIEVE. TOPSOIL SHALL NOT CONTAIN ANY RECYCLED MATERIAL, FOREIGN MATERIALS, OR ANY LISTED NOXIOUS AND NUISANCE WEEDS OF ANY CLASS DESIGNATED BY AUTHORIZED STATE OR COUNTY OFFICIALS. AT MINIMUM, TOPSOIL PRODUCTS BROUGHT ON SITE SHALL CONTAIN AMENDMENTS AS LISTED BELOW.
 - BIORETENTION SOIL SHALL BE A WELL-BLENDED MIXTURE OF MINERAL AGGREGATE AND FINE COMPOST MEASURED ON A VOLUME BASIS. BIORETENTION SOIL SHALL CONSIST OF APPROXIMATELY TWO (2) PARTS FINE COMPOST (APPROXIMATELY 35 TO 40 PERCENT) BY VOLUME AND THREE (3) PARTS MINERAL AGGREGATE (APPROXIMATELY 60 TO 65 PERCENT) BY VOLUME. THE MIXTURE SHALL BE WELL BLENDED TO PRODUCE A HOMOGENOUS MIX AND HAVE AN ORGANIC MATTER CONTENT OF 4 TO 8 PERCENT DETERMINED BY USING THE LOSS ON IGNITION METHOD. MINERAL AGGREGATE USED IN BIORETENTION SOIL SHALL MEET THE FOLLOWING GRADATION:
 - PERCENT PASSING 3/4" SIEVE: MAX 100%
 - PERCENT PASSING NO. 4 SIEVE: MIN 60%, MAX 100%
 - PERCENT PASSING NO. 10 SIEVE: MIN 40%, MAX 100%
 - PERCENT PASSING NO. 40 SIEVE: MIN 15%, MAX 50%
 - PERCENT PASSING NO. 200 SIEVE: MIN 2%, MAX 5%
 - COMPOST PRODUCTS SHALL BE THE RESULT OF THE BIOLOGICAL DEGRADATION AND TRANSFORMATION OF ORGANIC MATERIALS UNDER CONTROLLED CONDITIONS DESIGNED TO PROMOTE AEROBIC DECOMPOSITION. COMPOST SHALL BE STABLE WITH REGARD TO OXYGEN CONSUMPTION AND CARBON DIOXIDE GENERATION. COMPOST SHALL BE MATURE WITH REGARD TO ITS SUITABILITY FOR SERVING AS A SOIL AMENDMENT. THE COMPOST SHALL HAVE A MOISTURE CONTENT THAT HAS NO VISIBLE FREE WATER OR DUST PRODUCED WHEN HANDLING THE MATERIAL.

- SOIL AMENDMENTS**
- FINE COMPOST SHALL MEET THE FOLLOWING GRADATION:
 - PERCENT PASSING 1" SIEVE SIZE: MIN 100%
 - PERCENT PASSING 5/8" SIEVE SIZE: MIN 90%, MAX 100%
 - PERCENT PASSING 1/4" SIEVE SIZE: MIN 75%, MAX 100%
 - COARSE COMPOST SHALL MEET THE FOLLOWING GRADATION:
 - PERCENT PASSING 2" SIEVE SIZE: MIN 100%
 - PERCENT PASSING 1" SIEVE SIZE: MIN 90%, MAX 100%
 - PERCENT PASSING 3/4" SIEVE SIZE: MIN 70%, MAX 100%
 - PERCENT PASSING 1/4" SIEVE SIZE: MIN 40%, MAX 60%
 - MINIMUM ORGANIC MATTER OF COMPOST PRODUCTS SHALL BE 40% BY DRY WEIGHT.
 - THE COMPOST PRODUCT SHALL ORIGINATE FROM ORGANIC WOOD WASTE, YARD DEBRIS, POST-CONSUMER FOOD WASTE, PRE-CONSUMER ANIMAL-BASED WASTES, AND/OR PRE-CONSUMER VEGETATIVE WASTE. THE CONTRACTOR SHALL PROVIDE A LIST OF COMPOST SOURCES BY PERCENTAGE IN THE FINAL COMPOST PRODUCT TO THE LANDSCAPE ARCHITECT.
 - BARK OR WOOD CHIP MULCH SHALL BE DERIVED FROM FIR, PINE, OR HEMLOCK SPECIES. IT SHALL NOT CONTAIN RESIN, TANNIN, OR OTHER COMPOUNDS IN QUANTITIES THAT WOULD BE DETRIMENTAL TO PLANT LIFE. SAWDUST SHALL NOT BE USED AS MULCH. MULCH PRODUCED FROM FINISHED WOOD PRODUCTS OR CONSTRUCTION DEBRIS WILL NOT BE ALLOWED. WHEN TESTED, BARK OR WOOD CHIP MULCH SHALL MEET THE FOLLOWING LOOSE VOLUME GRADATION:
 - PERCENT PASSING 2" SIEVE SIZE: MIN 95%, MAX 100%
 - PERCENT PASSING NO. 4 SIEVE SIZE: MIN 0%, MAX 30%
 - ARBORIST CHIP MULCH SHALL BE COARSE GRAIND WOOD CHIPS (APPROXIMATELY 1/2" TO 6" ALONG THE LONGEST DIMENSION) DERIVED FROM THE MECHANICAL GRINDING OR SHREDDING OF THE ABOVE-GROUND PORTIONS OF TREES. IT MAY CONTAIN WOOD, WOOD FIBER, BARK, BRANCHES, AND LEAVES; BUT IT MAY NOT CONTAIN VISIBLE AMOUNTS OF SOIL. IT SHALL BE FREE OF WEEDS AND WEED SEEDS INCLUDING, BUT NOT LIMITED TO, ANY LISTED NOXIOUS AND NUISANCE WEEDS OF ANY CLASS DESIGNATED BY AUTHORIZED STATE OR COUNTY OFFICIALS. IT MAY NOT CONTAIN MORE THAN 1/2 PERCENT BY WEIGHT OF MANUFACTURED INERT MATERIAL (PLASTIC, CONCRETE, CERAMICS, METAL, ETC.). WHEN TESTED, ARBORIST CHIP MULCH SHALL MEET THE FOLLOWING LOOSE VOLUME GRADATION:
 - PERCENT PASSING 2" SIEVE SIZE: MAX 100%
 - PERCENT PASSING 1" SIEVE SIZE: MAX 100%
 - PERCENT PASSING 5/8" SIEVE SIZE: MAX 50%
 - PERCENT PASSING 1/4" SIEVE SIZE: MAX 40%

- SOIL AMENDMENTS**
- FERTILIZER SHALL BE A STANDARD COMMERCIAL GRADE OF ORGANIC FERTILIZER. IT MAY BE SEPARATE OR IN A MIXTURE CONTAINING THE PERCENTAGE OF TOTAL NITROGEN, AVAILABLE PHOSPHORIC ACID, AND WATER-SOLUBLE POTASH OR SULFUR IN THE AMOUNTS RECOMMENDED IN THE SOILS REPORT. ALL FERTILIZERS SHALL BE FURNISHED IN STANDARD UNOPENED CONTAINERS WITH WEIGHT, NAME OF PLANT NUTRIENTS, AND MANUFACTURER'S GUARANTEED STATEMENT OF ANALYSIS CLEARLY MARKED, ALL IN ACCORDANCE WITH STATE AND FEDERAL LAWS.
 - TOPSOIL TO INCLUDE THE FOLLOWING AMENDMENTS AS NECESSARY PER 1,000 SQUARE FT. ALL AMENDMENTS TO BE THOROUGHLY MIXED PRIOR TO INCORPORATION INTO SUBGRADE:
 - SIX (6) CUBIC YARDS ORGANIC FINE COMPOST.
 - THIRTY (30) POUNDS NITROFORM (38-0-0)
 - FIVE (5) POUNDS AMMONIUM SULFATE
 - FORTY (40) POUNDS CALCIUM CARBONATE LIMESTONE
 - FORTY (40) POUNDS DOLOMITE LIMESTONE
 - FIVE (5) OUNCES BORON (AS BORAX)

- PLANT MATERIAL SHALL COMPLY WITH STATE AND FEDERAL LAWS FOR DISEASE INSPECTION. PLANTS TO BE FULLY ALIVE, VIGOROUS, AND WELL-FORMED WITH WELL-DEVELOPED FIBROUS ROOT SYSTEMS. ROOT BALLS OF PLANTS TO BE SOLID AND FIRMLY HELD TOGETHER, SECURELY CONTAINED AND PROTECTED FROM INJURY AND DESICCATION. PLANTS DETERMINED BY OWNER'S REP TO HAVE DAMAGE, DEFORMITIES OF STEM, BRANCHES, OR ROOTS, LACK SYMMETRY, HAVE MULTIPLE LEADERS OR "Y" CROTCHES LESS THAN 30 DEGREES IN TREES, OR DO NOT MEET MINIMUM STANDARDS OF (AAN AMERICAN STANDARDS FOR NURSERY STOCK, LATEST EDITION (ANSI Z60.1), WILL BE REJECTED.
- SPECIFIED PLANT CONTAINER SIZE, HEIGHT, OR CALIPER IS THE MINIMUM ACCEPTABLE SIZE FOR ALL PLANT MATERIAL. MEASUREMENTS, CALIPER, BRANCHING, GRADING QUALITY, AND BALLING AND BURLAPPING MATERIAL SHALL CONFORM TO MINIMUM STANDARDS OF ANSI Z60.1, LATEST EDITION. PRUNE PLANTS RECEIVED FROM THE NURSERY ONLY UPON AUTHORIZATION BY THE LANDSCAPE ARCHITECT.
- SEED MIXES TO BE COMMERCIALY PREPARED AND SUPPLIED IN SEALED CONTAINERS. THE LABELS SHALL SHOW: COMMON AND BOTANICAL NAMES OF SEED, LOT NUMBER, NET WEIGHT, POUNDS OF PURE LIVE SEE (PLS) IN THE MIX, AND ORIGIN OF SEED.
- HYDROSEED SPECIES AND SEEDING RATES TO BE DETERMINED. QUANTITIES FOR TACKIFIER, MULCH, FERTILIZER, AND ANY NEEDED NURSE SEED TO BE DETERMINED. OWNER'S REP TO PROVIDE SITE CONSTRUCTION AND HYDROSEED SCHEDULE TO LANDSCAPE ARCHITECT PRIOR TO INSTALLATION IN ORDER TO DEVELOP OVERALL SEEDING STRATEGY AND TO SPECIFY CORRECT QUANTITIES OF MATERIALS RELATED TO THE INSTALLATION OF HYDROSEED AND ASSOCIATED PRODUCTS AND MATERIALS. APPLY HYDROSEED PER MANUFACTURER'S AND SEED SUPPLIER'S RECOMMENDATIONS.
- SOD GRASS: CONTRACTOR SHALL SUBMIT AVAILABLE SOD GRASS MIXTURES ON THE CURRENT MARKET TO THE LANDSCAPE ARCHITECT FOR SELECTION AND APPROVAL. THE SOD SHALL BE FIELD GROWN, ONE CALENDAR YEAR OR OLDER, HAVE A WELL-DEVELOPED ROOT STRUCTURE, AND BE FREE OF ALL WEEDS, DISEASE, AND INSECT DAMAGE. PRIOR TO CUTTING, THE SOD SHALL BE GREEN, IN AN ACTIVE AND VIGOROUS STATE OF GROWTH, AND MOVED TO A HEIGHT NOT EXCEEDING ONE (1) INCH. THE SOD SHALL BE CUT WITH A MINIMUM OF ONE (1) INCH OF SOIL ADHERING.

- INSTALLATION**
- PLANT MATERIAL SHALL BE DELIVERED AFTER PREPARATION OF PLANTING AREAS HAS BEEN COMPLETED AND SHALL BE INSTALLED IMMEDIATELY. IF INSTALLATION IS DELAYED MORE THAN 6 HOURS AFTER DELIVERY, SET MATERIAL IN SHADE, PROTECT FOR WEATHER AND MECHANICAL DAMAGE, AND KEEP ROOT BALLS MOIST BY COVERING WITH MULCH, BURLAP, OR OTHER ACCEPTABLE MEANS OF RETAINING MOISTURE.
 - CONTRACTOR SHALL INSTALL PLANT MATERIALS ONLY AFTER ALL OTHER CONSTRUCTION OPERATIONS THAT CONFLICT HAVE BEEN COMPLETED. IF AN IRRIGATION SYSTEM IS TO BE INSTALLED, PLANT MATERIALS SHALL BE INSTALLED AFTER THE IRRIGATION SYSTEM HAS BEEN INSTALLED, TESTED, AND APPROVED BY THE OWNER'S REP.

PLANTING NOTES AND REQUIREMENTS

- TREES, WHIPS, SHRUBS, GROUND COVERS, CUTTINGS, LIVE STAKES, LIVE POLES, RHIZOMS, TUBERS, ROOTSTOCK, AND SEEDLINGS WILL HERINAFTER BE REFERRED TO COLLECTIVELY AS "PLANTS" OR "PLANT MATERIAL".
 - THE CONTRACTOR SHALL ENSURE ADEQUATE AND PROPER CARE OF ALL PLANT MATERIAL AND WORK DONE ON THIS PROJECT UNTIL ALL PLANT ESTABLISHMENT PERIODS REQUIRED BY THE CONTRACT ARE COMPLETE OR UNTIL PHYSICAL COMPLETION OF THE PROJECT, WHICHEVER IS LAST. EXISTING VEGETATION SHALL NOT BE DISTURBED UNLESS REQUIRED BY THE CONTRACT OR APPROVED BY THE ENGINEER. CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING TREES, UON.
 - ADEQUATE AND PROPER CARE SHALL INCLUDE, BUT IS NOT LIMITED TO, KEEPING ALL PLANT MATERIAL IN A HEALTHY GROWING CONDITION BY WATERING, CULTIVATING, PRUNING, AND SPRAYING. PLANT MATERIAL CROWNS, RUNNERS, AND BRANCHES SHALL BE KEPT FREE OF MULCH AT ALL TIMES. THIS WORK SHALL INCLUDE KEEPING THE PLANTED AND SEEDED AREAS FREE FROM INSECT INFESTATION, WEEDS, OR UNWANTED VEGETATION, LITTER, AND OTHER DEBRIS ALONG WITH RETAINING THE FINISHED GRADES AND MULCH IN A NEAT AND UNIFORM CONDITION.
 - THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR THE MAINTENANCE AND APPEARANCE OF THE LANDSCAPE. THE CONTRACTOR SHALL CONTROL WEED AND PEST SPECIES WITHIN THE PROJECT AREA USING INTEGRATED PEST MANAGEMENT PRINCIPLES CONSISTING OF MECHANICAL, BIOLOGICAL, AND CHEMICAL CONTROLS AS DESIGNATED OR APPROVED BY THE ENGINEER OR LANDSCAPE ARCHITECT. THOSE WEEDS SPECIFIED AS NOXIOUS BY THE STATE DEPARTMENT OF AGRICULTURE, THE LOCAL WEED DISTRICT, OR THE COUNTY NOXIOUS WEED CONTROL BOARD, AND OTHER SPECIES IDENTIFIED BY THE CONTRACTING AGENCY, SHALL BE CONTROLLED ON THE PROJECT. GRASS GROWING WITHIN THE MULCH RING OF A PLANT SHALL BE CONSIDERED A WEED AND BE CONTROLLED ON THE PROJECT.
 - PRECON MEETING BETWEEN GENERAL CONTRACTOR, LANDSCAPE CONTRACTOR, AND OWNER'S REP REQUIRED PRIOR TO COMMENCEMENT OF PLANTING OPERATIONS TO REVIEW CONDITIONS AND IDENTIFY COORDINATION REQUIREMENTS.
- PLANT MATERIAL**
- SEE PLANT SCHEDULE FOR SPECIES AND QUANTITIES OF PLANT MATERIAL. ALL PLANT MATERIAL SHALL BE NURSERY GROWN (NOT FIELD COLLECTED) AND SHALL BE CONTAINERIZED OR BALLED AND BURLAPPED. PLANT MATERIAL SHALL BE FROM A SINGLE NURSERY SOURCE FOR EACH SPECIFIED SPECIES/HYBRID. NURSERY SOURCES SHALL BE THOSE LOCATED IN THE SAME REGION AS THE JOB SITE.
 - NO SUBSTITUTION OF PLANT MATERIAL, SPECIES, OR VARIETY SHALL BE PERMITTED UNLESS WRITTEN EVIDENCE OF LACK OF PLANT MATERIAL IS SUBMITTED TO THE OWNER'S REP FROM TWO (2) QUALIFIED PLANT BROKERAGE OFFICES. SUBSTITUTIONS THAT ARE PERMITTED ARE TO BE IN WRITING FROM THE LANDSCAPE ARCHITECT. THE SPECIFIED SIZE, SPECIES, AND NEAREST VARIETY, AS APPROVED, SHALL BE FURNISHED. SUBSTITUTIONS MAY REQUIRE SUBMITTAL OF A REVISED LANDSCAPE PLAN FOR CITY APPROVAL.

- PLANTING SOIL FOR ALL TREES, SHRUBS, AND GROUNDCOVERS SHALL BE TOPSOIL AND INCLUDE THE FOLLOWING AMENDMENTS AS NECESSARY PER 1,000 SF. ALL AMENDMENTS TO BE THOROUGHLY MIXED PRIOR TO INCORPORATION INTO TOPSOIL:
 - 0.6 CUBIC YARDS PER VOLUME TOPSOIL
 - 0.4 CUBIC YARDS ORGANIC FINE COMPOST
 - THREE (3) POUNDS NITROFORM (38-0-0)
 - ONE (1) POUND AMMONIUM SULFATE
 - TWO (2) POUNDS CALCIUM CARBONATE LIMESTONE
 - TWO (2) POUNDS DOLOMITE LIMESTONE
- SUBGRADE PREPARATION**
- ESTABLISH SUBGRADE ELEVATIONS THAT WILL ACCOMMODATE TOPSOIL, AMENDMENT, AND MULCH DEPTHS. SUBGRADE PREPARATION FOR PLANTING, BIORETENTION, AND LAWN AREAS SHALL BE AS FOLLOWS:
 - RIP SUB-GRADE TO A DEPTH OF EIGHT (8) INCHES.
 - REMOVE COBBLES, ROCKS, CONCRETE, ASPHALT, AND OTHER DEBRIS OVER TWO (2) INCHES IN DIAMETER FOR PLANTING AND BIORETENTION AREAS AND ONE-HALF (1/2) INCH DIAMETER FOR LAWN AREAS.
 - TILL 2.5 INCHES OF ORGANIC FINE COMPOST INTO THE SUB-GRADE TO A DEPTH OF EIGHT (8) INCHES. TILLING THE COMPOST INTO THE SOIL SHALL BE ACCOMPLISHED BY TILLING IT TWICE. THE SECOND TIME PERPENDICULAR TO THE FIRST.
 - ERADICATE ANY SURFACE VEGETATION ROOTED IN THE SUBGRADE PRIOR TO SUBGRADE PREPARATION.
 - THOROUGHLY SCARIFY AND RIP ALL LANDSCAPE SUB-GRADES THAT HAVE BECOME COMPACTED TO A DEPTH OF TWELVE (12) INCHES WITH MULTIPLE PASSES, 90 DEGREES TO EACH OTHER. SCARIFY AREAS INACCESSIBLE TO MECHANIZED EQUIPMENT AND AROUND EXISTING PLANTINGS NOTED TO REMAIN WITH HAND TOOLS.
 - VERIFY THAT ALL SOIL CONTAMINANTS (INCLUDING, BUT NOT LIMITED TO, PAINT, SEALANTS, SOLVENTS, OILS, GREASES, CONCRETE/ASPHALT SPOILS, ETC.) HAVE BEEN SATISFACTORILY REMOVED FROM ALL PLANTING AREAS. REMOVE ANY ASPHALT EXTENDING BEYOND SIX (6) INCHES FROM CURBS INTO ADJACENT LANDSCAPES. DO NOT BEGIN WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED AND APPROVED BY OWNER'S REPRESENTATIVE.
 - MOISTEN PREPARED AREAS BEFORE PLANTING IF SOIL IS DRY. WATER THOROUGHLY AND ALLOW SURFACE TO DRY BEFORE PLANTING. DO NOT CREATE MUDDY SOIL.

- FINAL GRADING AND MULCHING**
- ALL FINISH GRADES TO BE SMOOTH, EVEN GRADES AND LIGHTLY COMPACTED, AS SHOWN ON THE PLAN AND DETAILS. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND STRUCTURES. SEE GRADING PLANS FOR FINAL ELEVATIONS.
 - ALL LANDSCAPE AREAS NOT COVERED BY LAWN AND/OR SEED SHALL RECEIVE THREE (3) INCHES OF MULCH (1.5 INCHES BARK OR WOOD CHIP MULCH ON TOP OF 1.5 INCHES FINE COMPOST), UON. FINELY GRADE MULCH AWAY FROM TREE TRUNKS AND SHRUB STEMS. DO NOT PLACE MULCH DIRECTLY AGAINST TREE TRUNKS OR STEMS.
 - ALL BIORETENTION AREAS NOT COVERED BY LAWN AND/OR SEED SHALL RECEIVE 3 INCHES COARSE COMPOST MULCH BELOW THE TEMPORARY PONDING DEPTH AND 3 INCHES OF ARBORIST CHIP MULCH ABOVE THE TEMPORARY PONDING DEPTH, UON. FINELY GRADE MULCH AWAY FROM TREE TRUNKS AND SHRUB STEMS. DO NOT PLACE MULCH DIRECTLY AGAINST TREE TRUNKS OR STEMS.

- PRIOR TO INSTALLATION, ALL PLANT MATERIAL SHALL BE APPROVED BY THE OWNER'S REP AT THE TIME OF DELIVERY TO THE SITE FOR CONFORMANCE WITH THE REQUIREMENTS OF THE PLANT SCHEDULE, PLANT SPECIFICATIONS, AND STORAGE AND HANDLING REQUIREMENTS. CONTRACTOR SHALL PROVIDE A MINIMUM OF TWO (2) WEEKS OF NOTICE PRIOR TO DELIVERY TO THE OWNER'S REP.
- HANDLE PLANTS WITH CARE. DO NOT DAMAGE OR BREAK ROOT SYSTEM, BARK, OR BRANCHES. REPAIR AND/OR REPLACE ITEMS DAMAGED AS A RESULT OF WORK OR WORK THAT IS NOT IN COMPLIANCE WITH PLANS AND NOTES AS DIRECTED BY OWNER'S REP AT NO ADDITIONAL COST TO THE OWNER.
- ARRANGE TREES AND SHRUBS ON SITE IN PROPOSED LOCATIONS PER PLANS. LAYOUT OF PLANTING AREAS AND PLACEMENT OF TREES, SHRUBS, AND GROUNDCOVERS SHALL BE APPROVED BY THE OWNER'S REP PRIOR TO INSTALLATION. UTILITY CLEARANCES FOR PLANT MATERIALS SHALL BE:
 - GROUNDCOVERS SHALL BE LOCATED MIN 24 INCHES FROM FIRE HYDRANTS AND UTILITY VAULTS.
 - SHRUBS SHALL BE LOCATED MIN 3 FEET FROM BUILDING WALLS AND MIN 8 FEET FROM FIRE HYDRANTS AND UTILITY VAULTS.
 - TREE TRUNKS SHALL BE LOCATED MIN 15 FEET FROM BUILDING WALLS AND STREET LIGHTS, MIN 10 FEET FROM UNDERGROUND UTILITIES, AND MIN 3 FEET FROM EDGE OF PLANTING AREA.
 - TREE LOCATIONS MAY BE ADJUSTED TO ACCOMMODATE UTILITIES, BUILDING ENTRANCES, OR WINDOWS. ADJUSTMENTS GREATER THAN 15' OC MUST BE APPROVED BY LANDSCAPE ARCHITECT.
- TREES SHALL BE INSTALLED FIRST; SHRUBS SECOND; AND GROUNDCOVERS THIRD. EXCAVATE PIT, PLANT, AND STAKE OR GUY AS CALLED OUT AND DETAILED. EXCAVATE PITS FOR GROUNDCOVERS TO A MIN 3 INCHES BELOW AND TWICE THE ROOT BALL DIA. WATER THOROUGHLY AND TAKE CARE TO ENSURE THAT ROOT CROWNS ARE AT PROPER GRADE AS DETAILED. ALL PLANT MATERIAL AND SUPPORTS TO STAND VERTICAL.
- CONTRACTOR SHALL BACKFILL PLANTING PITS WITH PLANTING SOIL AS DEFINED IN SOIL PREPARATION NOTES. SETTLE PLANTING SOIL USING WATER ONLY. MECHANICAL COMPACTION IS NOT PERMITTED.
- TREES SHALL BE STAKED OR GUYED PER DETAILS WITHIN TWENTY-FOUR (24) HOURS OF INSTALLATION. STAKES TO BE MIN 8 FEET LENGTH LODGEPOLE PINE STAKES WITH 2 INCH DIAMETER. GUY MATERIAL TO BE ONE (1) INCH WIDE POLYETHYLENE CHAIN LOCK TYPE TIES OR 3/8 INCH DIAMETER RUBBER. WIRE IS NOT PERMITTED.
- LABEL AT LEAST ONE (1) TREE, SHRUB, AND GROUNDCOVER OF EACH VARIETY WITH A SECURELY ATTACHED, WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF BOTANICAL AND COMMON NAMES.

REVISIONS PER CITY COMMENTS

No.	Date	By	Chd.	Appr.	Reason
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Title: LANDSCAPE NOTES AND REQUIREMENTS FOR PRELIMINARY PLAT OF WOODS CREEK HIGHLANDS

For: WOODS CREEK DEVELOPMENT, INC. 1800 136TH PL NE, STE 100 BELLEVUE, WA 98005



Scale: Horizontal N/A Vertical N/A

Designed: JLB
Drawn: JLB
Checked: JLB
Approved: BJT
Date: 5/17/19

18215 72ND AVENUE SOUTH
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(425)251-6222
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CIVIL ENGINEERING, LAND PLANNING,
SURVEYING, ENVIRONMENTAL SERVICES

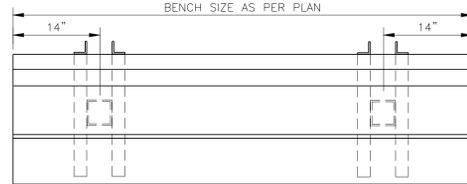
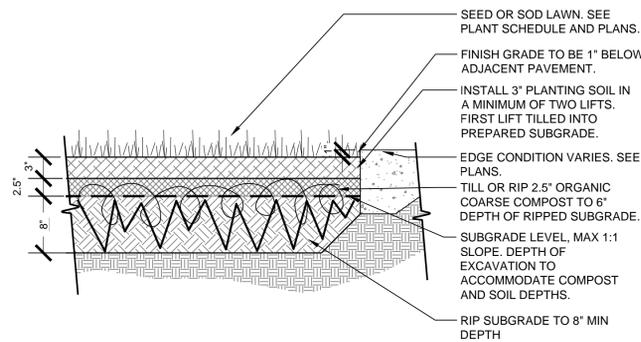
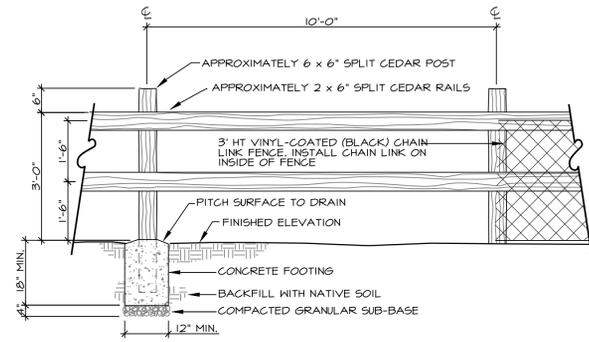


Job Number: 20354
Sheet: 4
L1 of 4

PRELIMINARY LANDSCAPE DETAILS

FOR PRELIMINARY PLAT OF WOODS CREEK HIGHLANDS

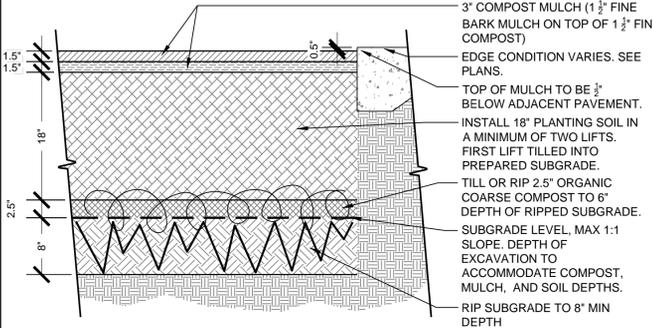
CITY OF MONROE, SNOHOMISH COUNTY, WA



PLAN VIEW

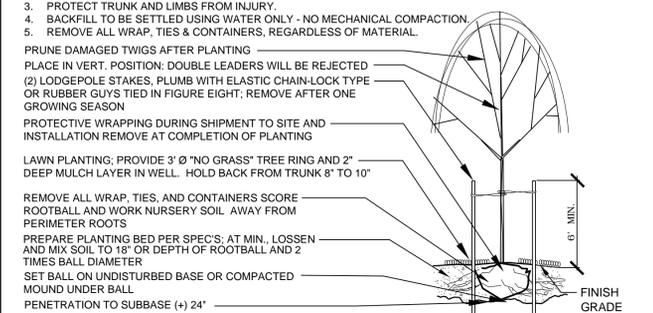
1 SPLIT RAIL AND CHAIN LINK FENCE
NOT TO SCALE

NOTES
1. AT END OF WARRANTY, SUPPLEMENT COMPOST MULCH TO ACHIEVE FINAL TOTAL DEPTH OF 3" COMPOST MULCH.
2. FINISH SURFACE OF MULCH TO BE 1/2" BELOW ADJACENT PAVEMENT.



3 PLANTING AREA SUBGRADE PREP
1" = 1'-0"

NOTES
1. KEEP ROOTBALL MOIST AND PROTECTED AT ALL TIMES.
2. HOLD CROWN OF ROOTBALL AT OR JUST ABOVE FINISH GRADE.
3. PROTECT TRUNK AND LIMBS FROM INJURY.
4. BACKFILL TO BE SETTLED USING WATER ONLY - NO MECHANICAL COMPACTION.
5. REMOVE ALL WRAP, TIES & CONTAINERS, REGARDLESS OF MATERIAL.

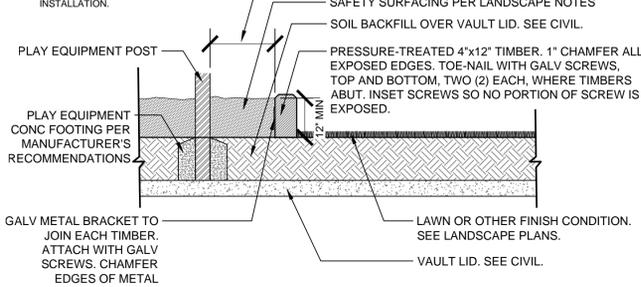


5 DECIDUOUS TREE PLANTING AND STAKING
NOT TO SCALE

NOTES
1. PRUNE DAMAGED TWIGS AFTER PLANTING.
2. PLACE IN VERT. POSITION: DOUBLE LEADERS WILL BE REJECTED.
3. LODGEPOLE STAKES, PLUMB WITH ELASTIC CHAIN-LOCK TYPE OR RUBBER GUY'S TIED IN FIGURE EIGHT; REMOVE AFTER ONE GROWING SEASON.
4. PROTECTIVE WRAPPING DURING SHIPMENT TO SITE AND INSTALLATION REMOVE AT COMPLETION OF PLANTING.
5. LAWN PLANTING: PROVIDE 3" Ø "NO GRASS" TREE RING AND 2" DEEP MULCH LAYER IN WELL. HOLD BACK FROM TRUNK 8" TO 10".
6. REMOVE ALL WRAP, TIES, AND CONTAINERS SCORE ROOTBALL AND WORK NURSERY SOIL AWAY FROM PERIMETER ROOTS.
7. PREPARE PLANTING BED PER SPEC'S; AT MIN. LOSSEN AND MIX SOIL TO 18" OR DEPTH OF ROOTBALL AND 2 TIMES BALL DIAMETER.
8. SET BALL ON UNDISTURBED BASE OR COMPACTED MOUND UNDER BALL.
9. PENETRATION TO SUBBASE (+) 24".

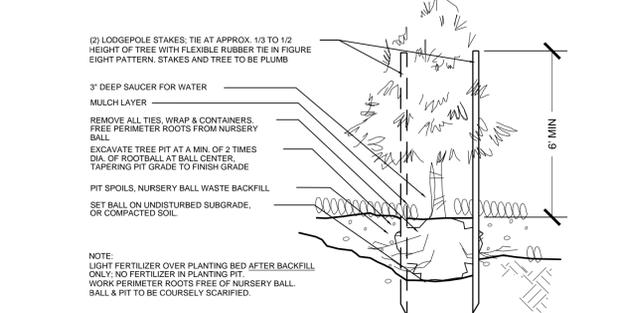
2 LAWN AREA SUBGRADE PREP
1" = 1'-0"

NOTES
1. VERIFY VAULT CONDITIONS WITH STRUCTURAL ENGINEER PRIOR TO INSTALLATION.
2. MAINTAIN SAFE PLAY ZONE PER MANUFACTURER'S RECOMMENDATIONS.
3. SAFETY SURFACING PER LANDSCAPE NOTES.
4. SOIL BACKFILL OVER VAULT LID. SEE CIVIL.



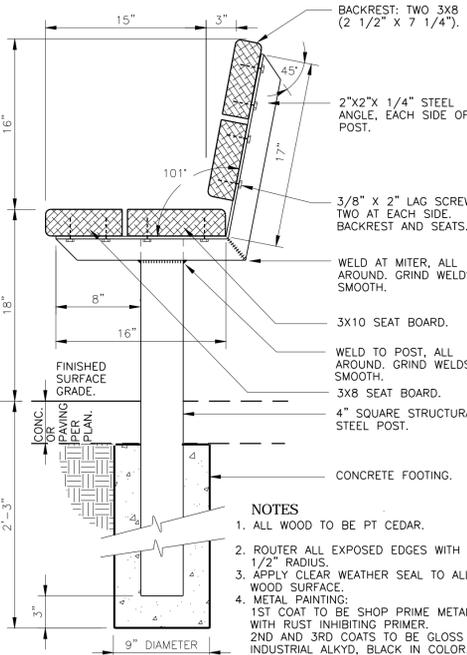
4 TIMBER EDGING OVER VAULT
NOT TO SCALE

NOTES
1. LODGEPOLE STAKES: TIE AT APPROX. 1/3 TO 1/2 HEIGHT OF TREE WITH FLEXIBLE RUBBER TIE IN FIGURE EIGHT PATTERN; STAKES AND TREE TO BE PLUMB.
2. 3" DEEP SAUCER FOR WATER.
3. MULCH LAYER.
4. REMOVE ALL TIES, WRAP & CONTAINERS, FREE PERIMETER ROOTS FROM NURSERY BALL.
5. EXCAVATE TREE PIT AT A MIN. OF 2 TIMES DIA. OF ROOTBALL AT BALL CENTER, TAPERING PIT GRADE TO FINISH GRADE.
6. PIT SPOILS, NURSERY BALL WASTE BACKFILL.
7. SET BALL ON UNDISTURBED SUBGRADE, OR COMPACTED SOIL.
8. NOTE: LIGHT FERTILIZER OVER PLANTING BED AFTER BACKFILL ONLY; NO FERTILIZER IN PLANTING PIT. WORK PERIMETER ROOTS FREE OF NURSERY BALL. BALL & PIT TO BE COURSELY SCARIFIED.



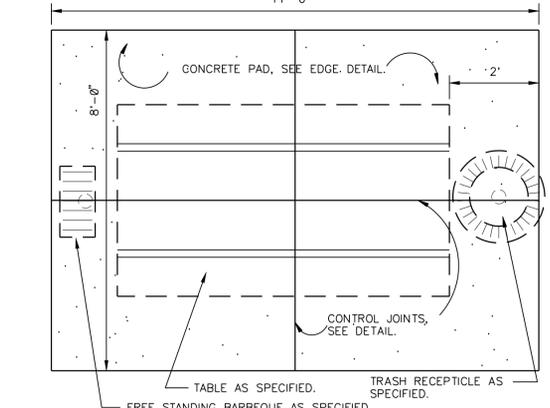
6 EVERGREEN TREE PLANTING AND STAKING
NOT TO SCALE

NOTES
1. ALL WOOD TO BE PT CEDAR.
2. ROUTER ALL EXPOSED EDGES WITH 1/2" RADIUS.
3. APPLY CLEAR WEATHER SEAL TO ALL WOOD SURFACE.
4. METAL PAINTING: 1ST COAT TO BE SHOP PRIME METAL WITH RUST INHIBITING PRIMER. 2ND AND 3RD COATS TO BE GLOSS INDUSTRIAL ALKID, BLACK IN COLOR.



7 BENCH WITH BACK REST
1 1/2" = 1'-0" FX-SF-FX-BNCH-01

NOTES
1. ALL WOOD TO BE PT CEDAR.
2. ROUTER ALL EXPOSED EDGES WITH 1/2" RADIUS.
3. APPLY CLEAR WEATHER SEAL TO ALL WOOD SURFACE.
4. METAL PAINTING: 1ST COAT TO BE SHOP PRIME METAL WITH RUST INHIBITING PRIMER. 2ND AND 3RD COATS TO BE GLOSS INDUSTRIAL ALKID, BLACK IN COLOR.



8 TABLE W/BBQ AND TRASH ON SLAB
1/2" = 1'-0" FX-SF-FX-TAB-02

NOTES
1. TABLE AS SPECIFIED.
2. TRASH RECEPTACLE AS SPECIFIED.

No.	Date	By	Chd.	Appr.	Revision
1	4/20/19	JLB	JLB	JLB	REVISIONS PER CITY COMMENTS

Title:
PRELIMINARY LANDSCAPE DETAILS
FOR
PRELIMINARY PLAT OF
WOODS CREEK HIGHLANDS

For:
WOODS CREEK DEVELOPMENT, INC.
1800 136TH PL NE, STE 100
BELLEVUE, WA 98005



Scale:	Horizontal	Vertical
	VARIES	VARIES
Designed	JLB	JLB
Drawn	JLB	JLB
Checked	JLB	JLB
Approved	B.L.	B.L.
Date	5/17/19	

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SURVEYING, ENVIRONMENTAL SERVICES



Job Number
20354
Sheet
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