

AGENDA  
MONROE CITY COUNCIL

Date: October 23, 2012      7:00 P.M.      City Council Chambers  
Call To Order

Roll Call

Pledge Of Allegiance

Comments From Citizens

This time is set aside for you to speak to the City Council on any issue **except any quasi-judicial matter subject to a public hearing (citizens wanting to voice concerns about quasi-judicial matters must do so during the public hearing process). Those items are marked with an \***. You are welcome to address the council on any other subject. (You must sign in before the meeting starts and give your request to the City Clerk).

**Please limit your time to 5 minutes.**

Business & Action Items

New Business

1. Introduction: Policy Regarding Removal of Personal Property from City Right-of-Ways  
Documents: [20121023 NB1 Coversheet.pdf](#), [20121023 NB1 Attach 1 Policy.pdf](#)
2. Ordinance Amending MMC Chapter 18.10, North Kelsey Design Guidelines (ZCA 2012-01)/1st Reading  
Documents: [20121023 NB2 Coversheet.pdf](#), [20121023 NB2 Attach 1 Guidelines.pdf](#), [20121023 NB2 Attach 2 Ordinance.pdf](#)
3. Ordinance Adopting Roosevelt Road Rezoning Classification RZ2011-01/1st Reading  
Documents: [20121023 NB3 Coversheet.pdf](#), [20121023 NB3 Attach 1 Ordinance.pdf](#), [20121023 NB3 Attach 2 Aerial Map.pdf](#), [20121023 NB3 Attach 3 Findings-Conclusions.pdf](#)
4. Ordinance/Short Plat Extension/ ZCA2012-08/1st Reading  
Documents: [20121023 NB4 Coversheet.pdf](#), [20121023 NB4 Attach 1 Ordinance.pdf](#)

Study Session Topics

1. Draft Agenda for November 6, 2012  
Documents: [20121023 SS1 110612 Draft Agenda.pdf](#)

Adjournment

Majority vote to extend past 10:00 p.m.

THE CITY COUNCIL MAY ADD AND TAKE ACTION ON OTHER ITEMS NOT  
LISTED ON THIS AGENDA

No final decisions can be made during the Discussion Topics portion of the meeting. Decisions on Discussion Topic items will be scheduled for a regular or special Council meeting; provided however, the City Council may give notice before the recess that action might be taken immediately following the close of the Discussion Topics.

Accommodations for people with disabilities will be provided upon request. Please call City Hall at 360-794-7400. Please allow one-week advance notice.

**MONROE CITY COUNCIL**

***Agenda Item Cover Sheet***

<b>TITLE:</b>	<b><i>Introduction: Policy Regarding Removal of Personal Property from City Property or Easements.</i></b>
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<b>DATE:</b>	<b>DEPT:</b>	<b>CONTACT:</b>	<b>PRESENTER:</b>	<b>ITEM:</b>
10/23/12	Public Works		Jakeh Roberts & Brad Feilberg	<b>New Business #1</b>

<b><i>COUNCIL GOAL:</i></b>	
<b><i>OBJECTIVE:</i></b>	

**Discussion:** 7/10/12, 9/11/12, 10/23/12  
**Public Hearing – Plan. Com.:**  
**Public Hearing – Council:**  
**First Reading:**

**Attachments:** 1. Proposed Policy Document

**DESCRIPTION/BACKGROUND**

The attached policy outlines how personal use, obstruction or reduction in access of City property or easements by personal property owners is to be addressed by City staff. The policy includes action based timelines which allow for the requirements of the City of Monroe NPDES permit to be met in relation to the maintenance of stormwater system appurtenances.

The policy generally gives personal property owners nine months time to remove items or obstructions.

**IMPACT – BUDGET**

**IMPACT – SERVICE DELIVERY**

Enacting this policy will allow for a clear, consistent and easily understood process for staff and citizens to follow when dealing with private use of City property and access obstructions.

**TIME CONSTRAINTS**

**RECOMMENDED ACTION**

Motion to approve *Management Of Access to City Owned Property and Maintenance Easements* policy.

**ALTERNATIVES TO STAFF RECOMMENDATION**

Revise policy as presented and motion to approve revised version.



**The statements contained in this policy are guidelines and summaries. They do not bind the City of Monroe. The City reserves the right to change, revoke or make exceptions to city policies at any time and at its sole discretion.**

## **1.0 PURPOSE AND SCOPE**

This policy frames the process by which the City of Monroe shall go about maintaining free access without obstruction on, around or within City property and easements as it relates to utility systems and appurtenances.

## **2.0 EXPLANATION OF KEY TERMS**

- A. **CITY PROPERTY:** Property owned by the City of Monroe.
- B. **EASEMENT:** A right granted by property owner(s) to the City of Monroe for a specific purpose, such as maintenance of utility appurtenances.
- C. **ACCESS OBSTRUCTION:** The physical blockage or reduction of free access to an area of City owned property, easement or right-of-way.

## **3.0 REMOVAL OF STORMWATER UTILITY ACCESS OBSTRUCTIONS**

The following steps are to be used as guidelines when removal of access obstructions from easements or property owned by the City of Monroe is necessary and related to utility systems and appurtenances used for the collection, treatment, storage, conveyance or dispersal of stormwater:

- A. **Inspection:** City staff will perform stormwater utility system access obstruction inspections annually or as needed, by the last business day of the second week of September.
- B. **Notification:** When access restrictions are found, City staff will notify adjacent property owner(s) (as identified by the Snohomish County Assessor's records as owning the property) via written contact. The notification process will begin no later than the last business day of the third week in September.
- C. **Removal Timeline:** City staff will request that adjacent property owners remove access obstructions no later than the last working day of June in the year following the original letter of notification.
- D. **Failure to Remove:** Should an adjacent property owner choose to not remove obstructions within the timeline specified, the City of Monroe may remove the access obstruction(s) and charge the adjacent property owner for the removal at its sole discretion.

## **4.0 REMOVAL OF DRINKING WATER OR SANITARY SEWER ACCESS OBSTRUCTIONS**

The following steps are to be used as guidelines when removal of access obstructions from easements or property owned by the City of Monroe is necessary and related to drinking water or sanitary sewer utility systems and appurtenances:

- A. **Inspection:** City staff will perform drinking water or sanitary sewer utility system access obstruction inspections as it is deemed prudent and necessary for utility system maintenance.
- B. **Notification:** When access restrictions are found, City staff will notify adjacent property owner(s) (as identified by the Snohomish County Assesor's records as owning the property) via written contact. The notification process will begin no later than fourteen days from the date of inspection.
- C. **Removal Timeline:** City staff will request that adjacent property owners remove access obstructions no later than nine months from the date of mailing of the notification letter.
- D. **Failure to Remove:** Should an adjacent property owner choose to not remove obstructions within the timeline specified, the City of Monroe may remove the access obstruction(s) and charge the adjacent property owner for the removal at its sole discretion.

## 5.0 EMERGENCY EXCEPTIONS

Emergency exceptions to this policy may occur during localized emergencies, natural disasters or other unforeseen circumstances. In the case of an emergency, the City of Monroe will access utility property and appurtenances in a manner that is in the best interests of the general public and the City of Monroe.

\*\*\*END OF DOCUMENT\*\*\*

# MONROE CITY COUNCIL

## *Agenda Item Cover Sheet*

<b>TITLE:</b>	<i>Ordinance Amending MMC Chapter 18.10, North Kelsey Design Guidelines/ 1st Reading</i>
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<b>DATE:</b>	<b>DEPT:</b>	<b>CONTACT:</b>	<b>PRESENTER:</b>	<b>ITEM:</b>
10/23/12	Public Works/ Planning Dept.		Paul Popelka	<b>New Business #2</b>

<b>COUNCIL GOAL:</b>	<i>(if applicable)</i>
<b>OBJECTIVE:</b>	

**Discussion:** 10/09/2012

**Public Hearing – Plan. Com.:** 10/16/2012

**Public Hearing – Council:**

**First Reading:**

- Attachments:**
1. North Kelsey Design Guidelines - Redlined Text
  2. Proposed Ordinance, including:  
Exhibit A: *Findings and Conclusions* &  
Exhibit B: *North Kelsey Design Guidelines* (Clean Text)

### **DESCRIPTION/BACKGROUND**

The North Kelsey Design Guidelines were adopted within the North Kelsey Development Plan originally approved and adopted in 2003. Several sections of the Comprehensive Plan relating to North Kelsey were amended in July 2012, including updated goals and policies and removal of regulatory language. The North Kelsey Design Guidelines are currently adopted and enforced in the Monroe Municipal Code.

The Design Guidelines are being updated to revise guidelines that are no longer relevant to development in the North Kelsey Development Area. Several chapters, including Site Configuration, Site Planning, and Circulation have major revisions; Architectural/Building Design and Landscape Design have minor revisions; Signage and Lighting is left intact in these until the sign code update is completed. The sign code update will incorporate the North Kelsey sign guidelines and upon adoption of the updated sign code, the Signage and Lighting chapter will be deleted from the North Kelsey Design Guidelines.

The Planning Commission held a public hearing on October 15. One citizen spoke of the importance of downtown connections and the large number of walkers in North Kelsey. The Commission will meet on October 22 and forward a recommendation to Council for this meeting.

### **IMPACT – BUDGET**

N/A

### **IMPACT – SERVICE DELIVERY**

Revising the Design Guidelines will improve the review process and revise project requirements that are no longer relevant.

**TIME CONSTRAINTS**

The NexCore project is tentatively scheduled to close on October 31; this first reading should be adopted prior to that closing date.

**RECOMMENDED ACTION**

Motion to accept as first reading the ordinance revising the North Kelsey Design Guidelines.

Attachment 1 – Redlined Version  
October 4, 2012  
| Revised October 18, 2012

# North Kelsey Development Plan Design Guidelines Update 2012

## APPENDIX 1: Design Guidelines

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*Approved Ord. 008/2003  
Amended Ord. 024/2007*

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# CHAPTER 1: Introduction

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## A. Purpose

~~The application of T~~these design guidelines ~~will bear~~ a critical regulatory tool in implementing the ~~community's~~ design-related goals and objectives for the North Kelsey Planning Area and the North Kelsey Planned Development Area.

## B. Intent

These guidelines are directed to creating a development within the North Kelsey planning area that:

- Provides a visible and accessible commercial ~~and civic town focus~~district for the City of Monroe.
- Enhances downtown circulation for pedestrians and vehicles.
- Connects and integrates other downtown activities.
- ~~Features a spectrum of public open spaces and amenities.~~
- ~~Includes a mix of commercial, civic, recreational and residential activities~~
- ~~Retains opportunities north of North Kelsey Street for a larger activity in a master-planned setting such as an educational or medical facility or a corporate campus.~~
- Accommodates retail, office, and service development of various sizes and character as ~~long as the development's perceived scale~~ is appropriate for Monroe's vernacular architectural ~~small town~~ character and the with design quality is of the highest caliber.
- Enhances the town's identity as a regional attraction.

## C. Application of Design Guidelines

The design guidelines apply to all new construction in the North Kelsey Planning Area ([Figure 1MAP](#)). The sole exception involves interior remodels. The guidelines are intended to supplement ~~the~~ other [requirements standards](#) in the Monroe Municipal Code. Where the guidelines and zoning ordinance standards conflict, the City shall determine which regulation applies.

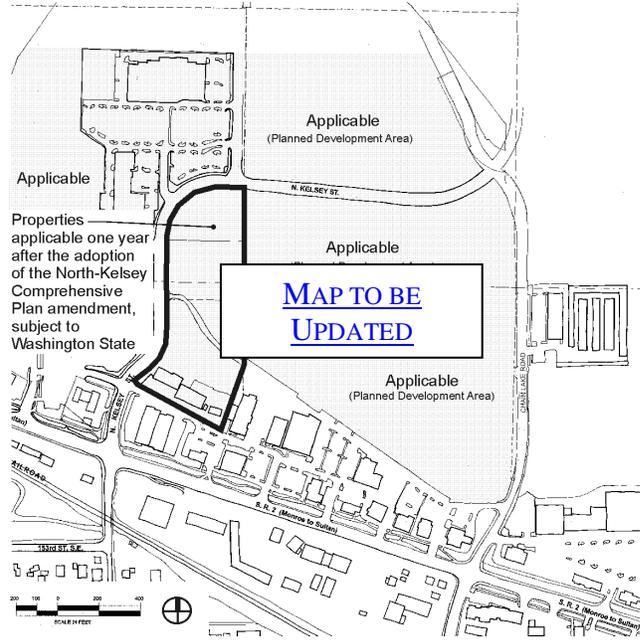


Figure 1: Applicable properties.

All properties that are outside the [planned](#)-development area, but within the North Kelsey Planning Area, are subject to Chapters 5 through 7 of these ~~D~~design ~~G~~guidelines. This includes the privately owned parcels within the outlined area. ~~the guidelines will become affective one year after the adoption of the North-Kelsey Comprehensive Plan amendments, subject to Washington State vesting laws.~~

The specific planned development area is ~~comprised~~ [comprised of properties west of Chain Lake Road, north of Tjerne Road, and along North Kelsey Street. Developed properties include Lowes, Red Robin and North Kelsey Place.](#) ~~of three properties along Chain Lake Road, currently owned by Snohomish County and the City of Monroe.~~

## D. Interpreting the Design Guidelines

The City retains full authority to determine whether or not a proposal meets these guidelines. Within the guidelines, certain words are used to indicate the relative importance and priority the City places upon the particular guideline. The words “shall,” “must,” and “is/are required” mean that the development proposal must comply with the guideline unless the City finds that:

- The guideline or requirement is not applicable or appropriate in the particular instance, or
- The development proposal meets the intent of the guidelines in some other manner.

~~The word “should” means that the development proposal will comply with the guideline unless the City finds that:~~

- ~~• The guideline or requirement is not applicable or appropriate in the particular instance,~~
- ~~• The development proposal meets the intent of the guidelines in some other manner, or~~

- ~~• There is a compelling reason to the contrary.~~

The words “is/are encouraged” mean that the action or characteristic is allowed and ~~will usually be should~~ viewed as a positive element in the City’s review.

The project proponent may submit proposals that he/she feels meet the intent of the guidelines but not necessarily the specifics of one or more guidelines. In this case, the City will determine if the intent of the guideline has been met.

## E. Review Process

The ~~Design Guidelines following guidelines~~ will be used, along with other City ordinances and regulations, for the City’s review of ~~one or more proposed binding site plans and subsequent~~ development proposals ~~within the North Kelsey Development Area on the site~~.

~~If more than one binding site plan is submitted (or if the site plan only applies to part of the development area south of North Kelsey Street), then the site plan shall indicate how the proposal will connect to adjacent properties/parcels to be developed later. The means of pedestrian and vehicular circulation, as well as building and entry orientation, must be as approved by the City in accordance with the design guidelines as applied to the entire area of applicability as stated in Chapter 1C of the guidelines.~~

# CHAPTER 2: Site Configuration

The development must be based on one or more City-approved binding site plans that address the following principles: ~~If more than one binding site plan is submitted (or if the site plan only applies to part of the development area south of North Kelsey Street), then the~~ The development site plan shall indicate how the proposal will connect to adjacent properties/parcels ~~to be developed later~~. The means of pedestrian and vehicular circulation, as well as building and entry orientation, must be as approved by the City in accordance with the ~~d~~Design ~~g~~Guidelines as applied to the entire area of applicability as stated in Chapter 1C. ~~of the guidelines.~~

1. Connects the following activities with an integrated pedestrian network:

- ~~To the~~ Southeast: Chain Lake Road sidewalk.
- ~~To the~~ North: ~~future development on City Public Works land north of~~ North Kelsey Street.
- ~~To the~~ West: North Kelsey Street near the entry to the Fred Meyer store.
- South: Current and future development along Tjerne Place.

Gateway features and safe walking connections must be provided at these points.

~~The City will pursue potential roadway connections directly south to SR-2 in order to provide better access to the site and neighboring properties and to reduce congestion on the highway. If such an access is identified prior to development, an internal pedestrian connection must be provided to the south as well.~~

~~2. Creates a focus of retail, recreational and civic uses at the core of the south lot. (See Public Open Space and Land Use guidelines, Chapter 3). Uses North of North Kelsey Street should be compatible and mutually supportive~~

4. Locates ~~D11~~ and treats large buildings to reduce their perceived scale to fit with neighboring structures and present an inviting, human scaled, pedestrian oriented character to the public. (See Architectural/Building Design guidelines, Chapter 5.)

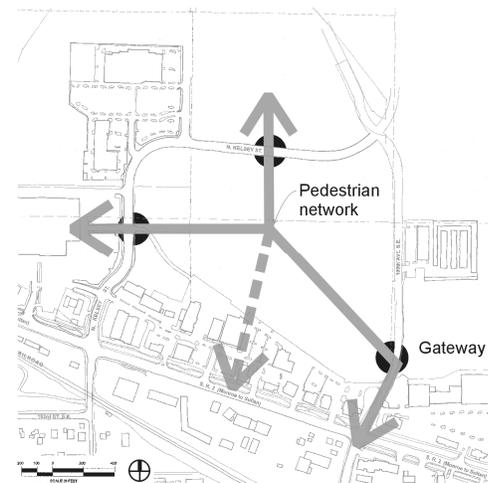


Figure 2: Key pedestrian connections.

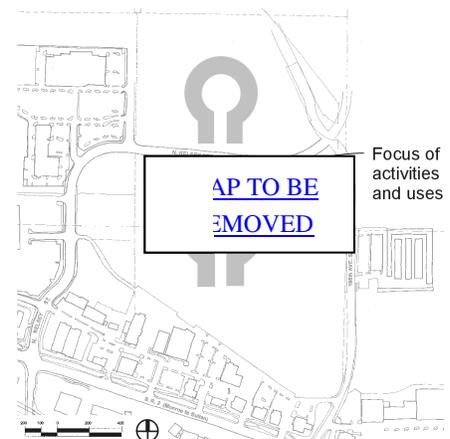
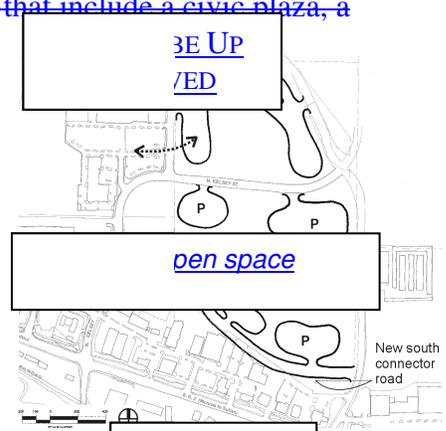


Figure 3: Site Activity focus.



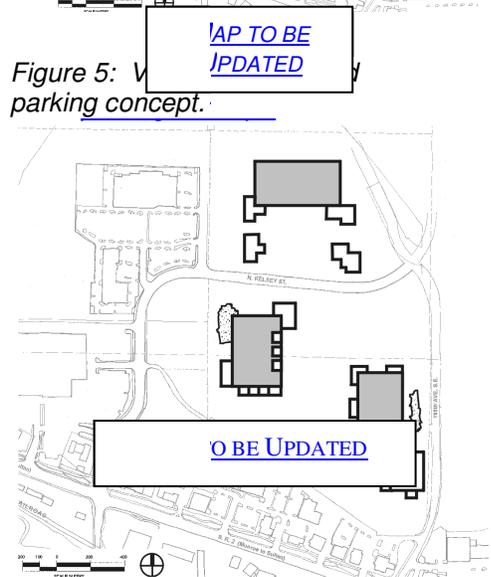
- 3. Provides a set of open spaces along the pedestrian network that include a civic plaza, a village green and other smaller open spaces to enhance the retail environment. (See Public Open Space guidelines, Chapter 3) Uses north of North Kelsey Street should be configured around a central open space or plaza to create a campus-like setting.

Figure 4: Open space concept.



- 4.5. Includes a public road to the south of the lot that, along with Tjerne Road to connect North Kelsey Street and Chain Lake Road, creates a creating a loop system around the south parcel. (Note: The City is currently studying the traffic and engineering considerations in the road's alignment and design. The City may find that an alternate alignment is acceptable.) Parking for the facility future development should be accessed from this loop system and not intrude into the center of the site of detract from the activities or qualities of the development. (See Parking Area guidelines in Chapter 3 and Circulation Guidelines, Chapter 4). Opportunities for sharing access and parking between new uses and current and future uses, including the theater complex, and public works department should be explored.

Figure 5: V parking concept.



- 5. Locates and treats large buildings to reduce their perceived scale to fit with neighboring structures and present an inviting, human scaled, pedestrian-oriented character to the public. (See Architectural/Building Design guidelines, Chapter 5.)

*Figure 6: Ways of reducing the scale of large buildings.*

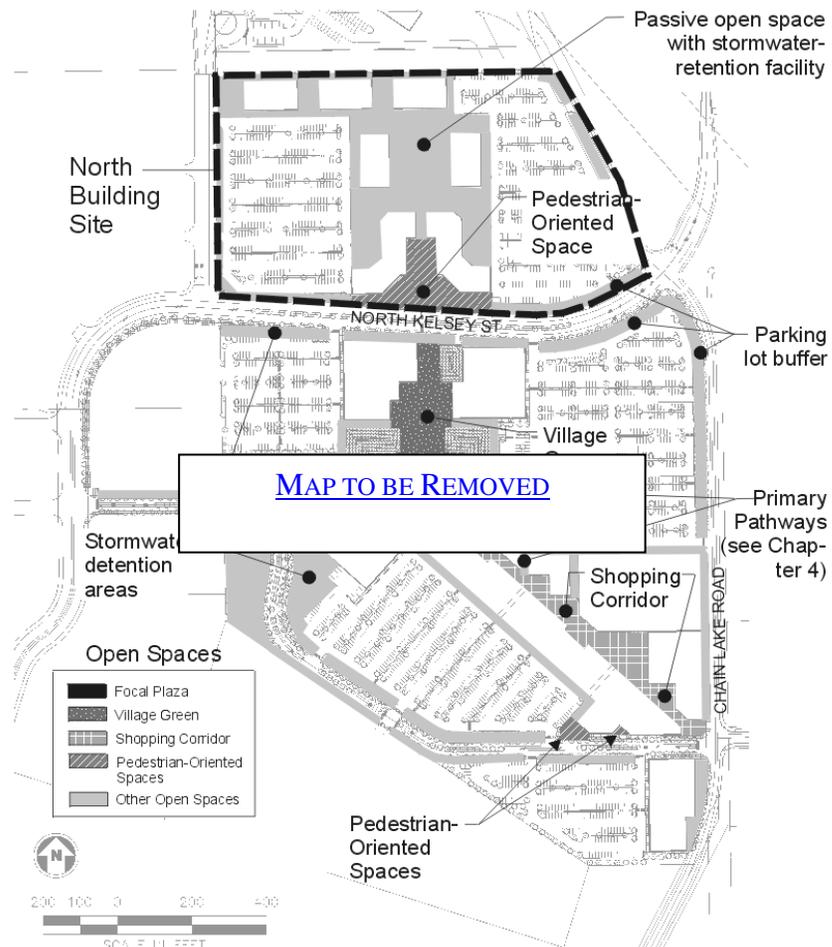
**The project proponent must demonstrate that the overall site layout and circulation system accomplishes these goals to the City's satisfaction.**

# CHAPTER 3: Site Planning

## A. Public Open Space

Intent:

- To provide a variety of open spaces that attract people to the area;
- To provide a focal open space that functions as a community gathering space;
- To provide a “park-like” character within the Planned Development Area of the North Kelsey Planning Area;
- To provide an attractive pedestrian environment;
- To provide outdoor spaces with pedestrian amenities for relaxing, eating, socializing, and recreating.

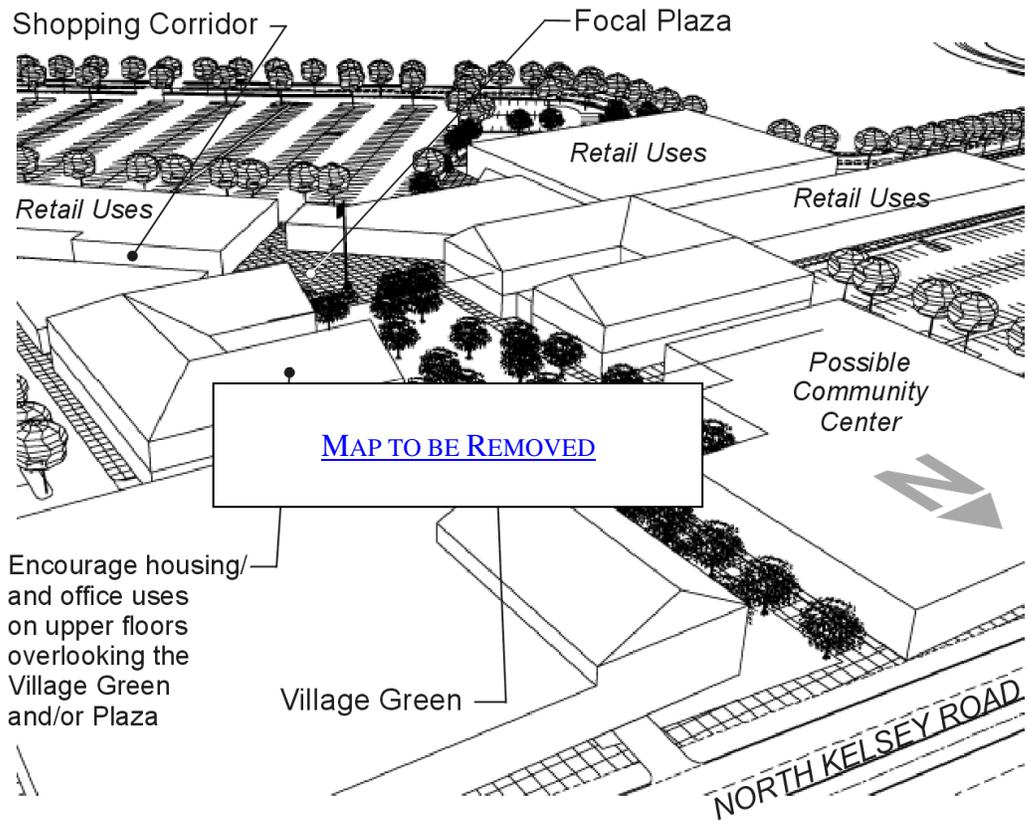


*Figure 7: Site development example illustrating the required open spaces.*

**1. Focal Plaza**

**Guidelines:**

- 1. Area should be sized between 10,000 and 15,000 square feet (generally large enough for a gathering of at least 1,000 people).**
- 2. The plaza should be able to serve as a center for daily activity – the most significant space and emphasis as the heart of the development.**
- 3. The plaza should include an area or platform that can be utilized as a stage for concerts, celebrations, or other public activities.**
- 4. Paving should be unit-pavers or concrete with special texture, pattern, and/or decorative features.**
- 5. Pedestrian amenities shall be provided such as seating, plants, drinking fountains, artwork, and such focal points as sculpture or water feature.**
- 6. Lighting fixtures should be approximately 10-15 feet above the surface. The overall lighting in the plaza should average at least 2 foot-candles.**



*Figure 8: Example Focal Plaza and Village Green configuration.*

- ~~7. The plaza should be connected to the Village Green towards the north/west, the Shopping Corridor to the east/south, and accessible from parking areas and other uses to the north and south.~~
- ~~8. At least one-half the plaza perimeter should abut buildings with pedestrian-oriented facades. These buildings should be 20 to 35 feet in height. Building at the southern edge of the plaza or structures within the plaza should be limited to one story to avoid excessive shadows. One of the buildings adjacent to the plaza should feature a tall landmark element (30-50 feet in height) such as a tower, prominent flagpole, or other structure.~~
- ~~9. Parking areas must not abut the Focal Plaza area.~~
- ~~10. See Chapter 6 for applicable landscaping guidelines.~~

## **2. Village Green**

### **Guidelines:**

- ~~1. The Village Green should extend north/west from the Focal Plaza; Area should be sized between 40,000 and 80,000 square feet.~~

- ~~2. The Village Green space should feature lawn and other soft landscaped surfaces with concrete or brick walkways traversing it and along it.~~
- ~~3. Landscaping can be formal or informal in style; however, plantings should frame vistas and emphasize views, where applicable.~~
- ~~4. Ground floor uses at the edge of the green space should feature retail, civic/community, recreational, and/or office uses. Pedestrian-oriented facades are required for abutting building facades unless the building and/or park are planned so that the wall without a pedestrian-oriented facade is used for park activity (e.g., brick wall for a performance area backdrop or basketball/active sports area).~~
- ~~5. Buildings with upper floors containing windows and/or balconies overlooking the Village Green are strongly encouraged. Upper story uses may be residential, community/civic, recreational, commercial, and/or office.~~
- ~~6. Pedestrian amenities shall be provided such as seating, plants, drinking fountains, distinctive paving, artwork, and such focal points as sculpture or water feature.~~
- ~~7. Lighting fixtures should be approximately 10-15 feet above the surface. Pathways should average between 1 and 2 foot candles of light—with major pathways averaging 4 foot candles. Hard surfaced plaza/court areas within the Village Green should average at least 2 foot candles. Lawn areas should average at least .5 foot candle.~~
- ~~8. Parking areas must not abut the Village Green unless the City determines that there is a public benefit to such an orientation and the parking is screened from the green. The intent is to surround the green with active storefronts or supporting uses. Exception: Temporary parking that will later be developed may be adjacent to the Village Green provided they are screened consistent with Type III Landscaping standards (MMC, Section 18.78.030).~~
- ~~9. A pedestrian transition zone of approximately 10 feet is encouraged along the building edge to provide an outdoor area for café seating, display area, and/or landscaping.~~
- ~~10. The plaza should have an articulated edge (buildings and/or landscaping) where feasible to provide visual interest.~~
- ~~11. Provisions may be made for active sports that take up less than ¼ of the Village Green area (such as a volleyball, tennis, or basketball court and/or children's play lot).~~
- ~~12. See Chapter 6 for applicable landscaping guidelines.~~

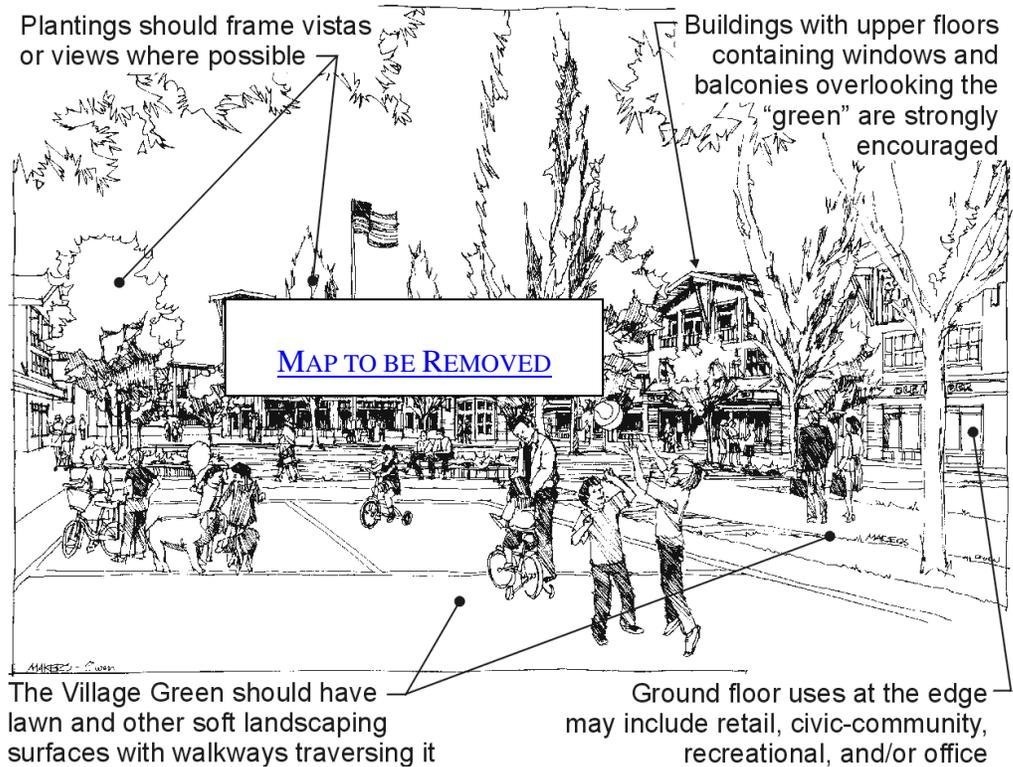


Figure 9: Village Green example.

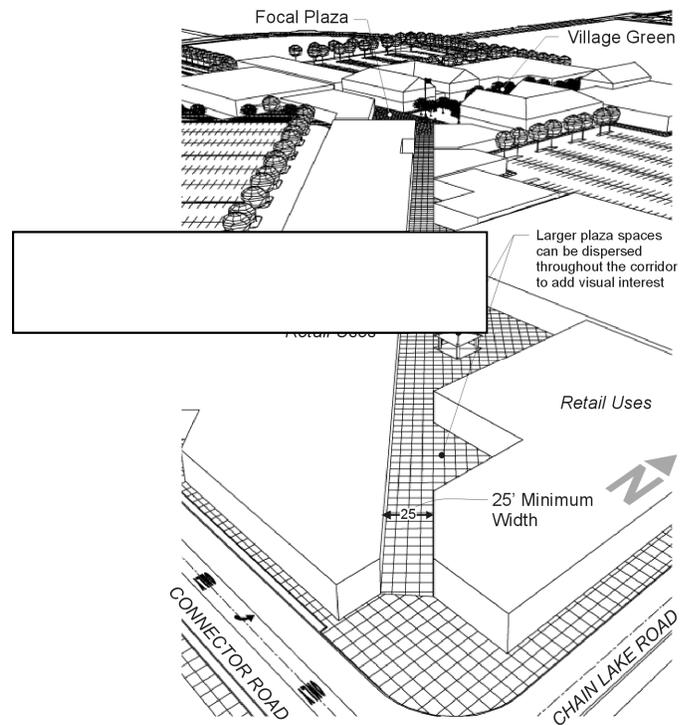
### 3. Shopping Corridor

#### Guidelines:

1. The Shopping Corridor should be a series of connected pedestrian spaces surrounded by retail shops.
2. The corridor should extend from the corner of Chain Lake Road and the east-west connector road to the Focal Plaza.
3. The width of the corridor should be not less than 25 feet in any place and average at least 50 feet counting plaza spaces. Pedestrian-oriented spaces (at least 2,000 square feet) should interrupt the corridor to provide visual interest and activities.
4. Paving should be unit pavers or concrete with special texture, pattern, and/or decorative features.
5. Pedestrian amenities shall be provided such as seating, plants, drinking fountains, distinctive paving, artwork, and such focal points as sculpture or water feature.

6. Lighting fixtures should be approximately 10–15 feet above the surface and may be building mounted. The overall lighting in the plaza should be at least 2 foot-candles, without “dark spots” that could cause security problems. Ambient light from under canopies or storefronts may be included in the lighting calculations.
7. The plaza should have an articulated edge (buildings, benches, and/or landscaping) where feasible or desirable to provide visual interest and additional seating along the edges of the plaza where people may linger out of the traffic flow.
8. Buildings adjacent to the Shopping Corridor must have pedestrian-oriented facades (see Building Orientation guidelines below).
9. See Chapter 6 for applicable landscaping guidelines.

*Figure 10: Example Shopping corridor configuration.*



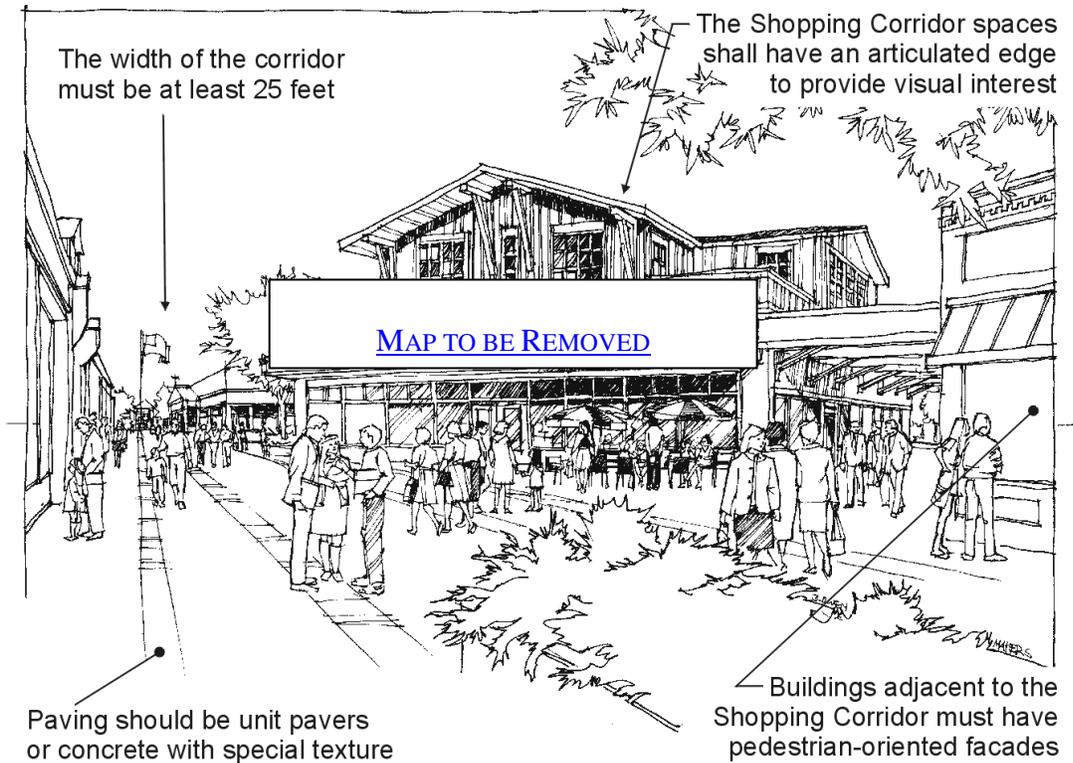


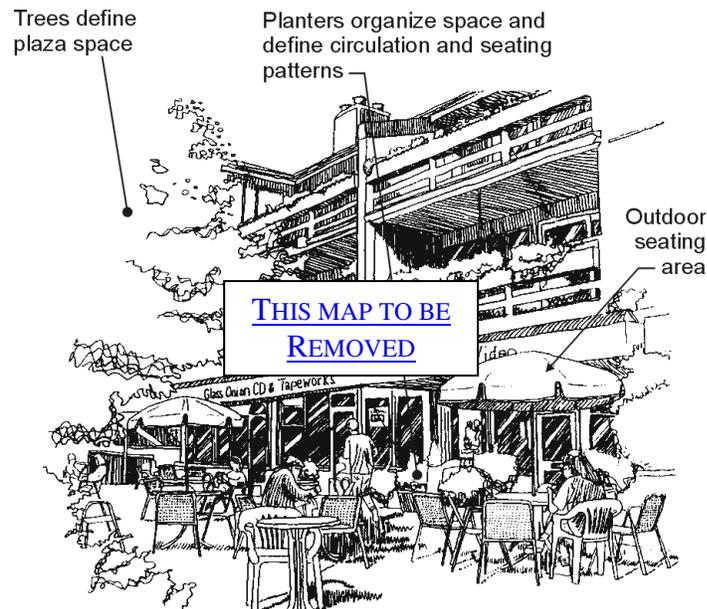
Figure 11: Example shopping corridor design.

#### 4. Pedestrian-Oriented Spaces Areas

##### **Guidelines:**

1. Pedestrian-oriented spaces areas are encouraged along the pedestrian connections and near key building entries. They can be small to large widening of walking space, landscaped areas, areas for outdoor dining, or small play areas.
2. Pedestrian amenities shall be provided such as seating, plants, drinking fountains, distinctive paving, artwork, and such focal points as sculpture or water feature, should be provided.
3. Lighting fixtures should be approximately 10-15 feet above the surface and may be building mounted. The overall lighting in the plaza pedestrian areas should be at least 2 foot-candles, without any “dark spots” that could cause security problems. Ambient light from under canopies or storefronts may be included in the lighting calculations.
4. The spaces must have visual and pedestrian access (including barrier-free access) to abutting structures and public streets or pathways.
5. ~~Walking surfaces should be either approved unit pavers or colored and textured concrete.~~

6. ~~At least one linear foot of seating area (at least 16 inches deep) or one individual seat per 60 square feet of plaza area or open space should be included (seating can include benches, low walls, stairs, or ledges).~~
7. Landscaping that does not act as a visual barrier is encouraged (~~also see Plaza/Pedestrian Area Landscaping guidelines, Chapter 7).~~
8. Buildings abutting pedestrian-oriented space must have pedestrian-oriented facades (see Building Orientation guidelines below).
9. See Chapter 6, [Landscape Design](#), for applicable landscaping guidelines.



*Figure 12: Pedestrian-oriented space.*

## **~~5. North Building Site~~**

### **~~Guidelines:~~**

1. ~~Development of the site north of North Kelsey Street should be organized around an interconnected set of heavily landscaped open spaces.~~
2. ~~The north site should include a focal open space that fronts on North Kelsey Street and is aligned with the Village Green. This open space must be developed consistent with the Pedestrian Oriented Spaces guidelines.~~
3. ~~Integrate stormwater detention facilities into the design of the landscape where possible and appropriate.~~
4. ~~Landscape the north site open space per Chapter 6 guidelines.~~

## B. Building Orientation

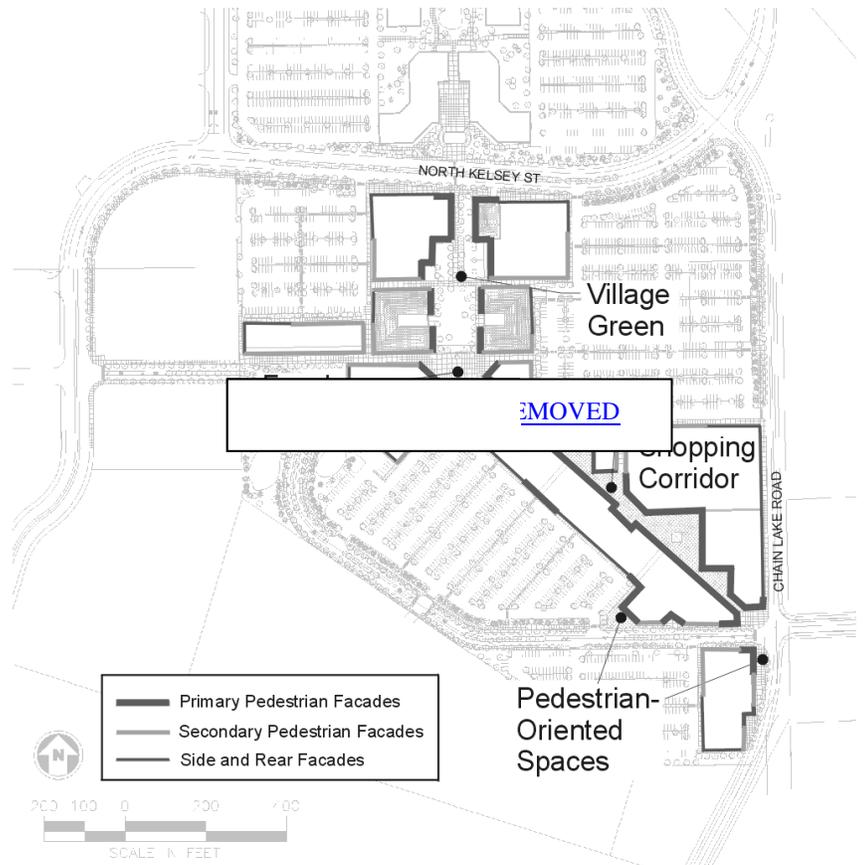
### Intent:

- ~~To P~~rovide an attractive pedestrian environment.
- ~~To E~~nhance the character of the streetscapes within and surrounding the area.
- ~~To enhance the use and safety of open spaces by encouraging buildings to front onto them.~~
- ~~P~~To provide attractive building facades adjacent to parking lots.

### General:

~~The Focal Plaza, Village Green, Shopping Corridor, and other Pedestrian-Oriented Spaces serve as the focal points for pedestrian activity in the Planned Development Area. Therefore, B~~uildings and ground floor businesses fronting ~~on the spaces~~ pedestrian areas should be oriented towards these spaces/areas. ~~For the purpose of these guidelines, these building facades are termed “Primary Pedestrian Facades.”~~ Since these and other buildings also front onto parking lots or streets, buildings and businesses are strongly encouraged to provide secondary building entrances. These are referred to as “Secondary Pedestrian Facades.”

~~Due to the design of the site, S~~ide and rear walls of new buildings in the planning area will also be visible and therefore must be designed and/or screened to provide an attractive streetscape. These are referred to as “Side or Rear Facades.” Locations, guidelines and standards for ~~Primary Pedestrian Facades,~~ Secondary Pedestrian Facades, and Side or Rear Facades are detailed below.



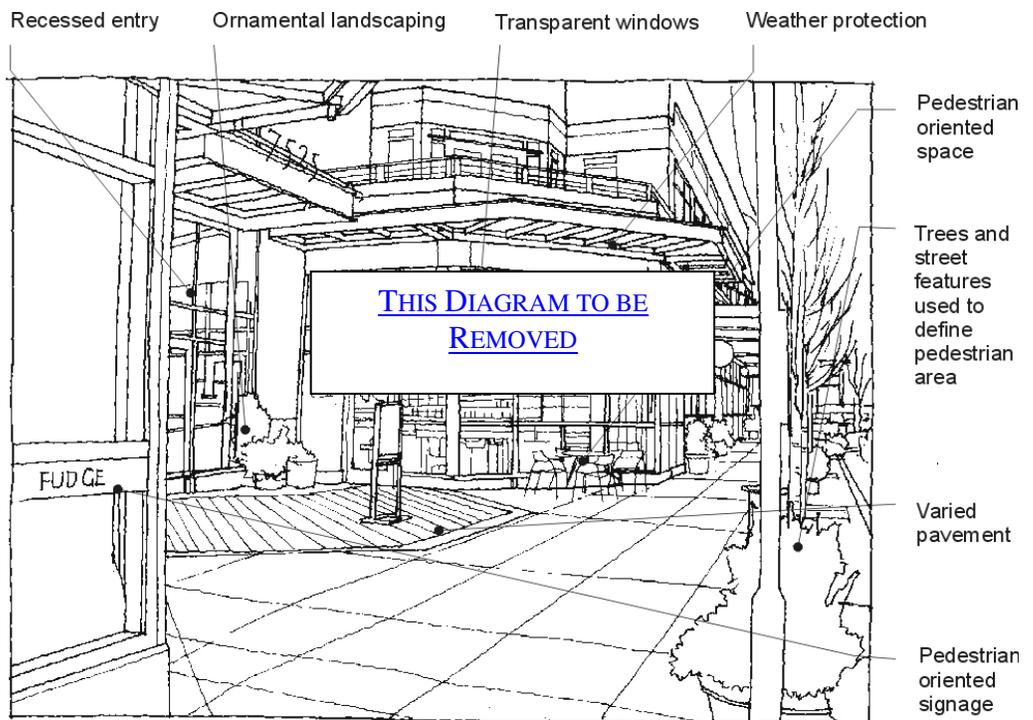
*Figure 13: Building orientation*

## Guidelines

3E

### 1. ~~Primary Pedestrian Façade:~~

- a. ~~Where: Building facades adjacent to the Shopping Corridor, Focal Plaza, Village Green, and at pedestrian-oriented spaces. (See Figure 13)~~
- b. ~~What: Primary building/business entries must be located here. Weather protection (height, width) along at least 75 percent of the façade width is required. Storefront windows over at least 75 percent of the facades on the ground floor between the height of 2 feet to 8 feet above the ground are required; Multi-story structures with windows or balconies overlooking the plaza/open spaces are encouraged to provide a sense of visual interest and neighborhood security. Pedestrian-oriented lighting and/or decorative façade details (see Building Elements and Details, Chapter 5) should be provided.~~



*Figure 14: ~~Primary pedestrian entry example.~~*

### 12. ~~Secondary Pedestrian Façade:~~

- a. ~~Where: Building facades adjacent to parking lots, pedestrian pathways, or streets, as designated by the City. (See Figure 13)~~
- b. ~~What: If the building/business is not adjacent to the Shopping Corridor, Focal Plaza, or Village Green, the primary entrance may be located adjacent to either an adjacent parking lot, pedestrian pathway, or street (subject to City approval). Building/businesses facing either Shopping Corridor, Focal Plaza, or Village Green on one side and parking lot, pedestrian pathway, and/or street on other sides, are strongly encouraged to provide a secondary~~

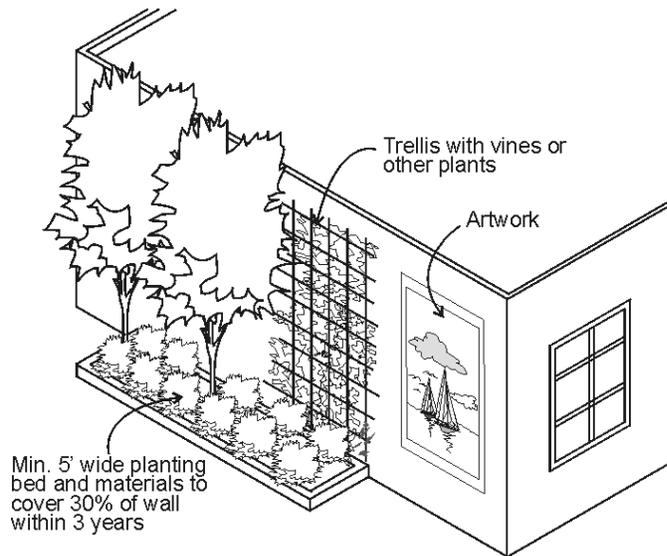
~~building/business entry from either the parking lot, pedestrian pathway, or street (siting subject to City approval).~~

- c. Weather protection over the building entry and covering at least 50 percent of the overall façade is required. ~~(80 percent weather protection coverage is required for facades along interior pedestrian corridors).~~
- d. Storefront windows over at least 50 percent of the facades on the ground floor between the height of 2 to 8 feet above the ground are required.
- e. Building entries along secondary pedestrian facades should utilize pedestrian-oriented lighting and/or decorative façade details. (See Building Elements and Details, Chapter 5.)
- f. Blank walls must be treated in one or more of the following ways:
  - Planters or trellises with vines.
  - Landscaping that covers 30 percent of wall area within three years of planting.
  - Special materials (e.g., decorative patterned masonry).
  - Display windows.
  - Other treatment approved by the City.

Figure 15: Blank wall treatments.

### 23. Side And Rear Facades:

- a. ~~Where:~~ Building facades ~~not adjacent the Focal Plaza, Village Green, Shopping Corridor,~~ building/business entries, or highly visible locations. ~~(See Figure 13)~~
- b. What: While pedestrian building/business entries are not required here, they may be encouraged depending on specific site characteristics. Service elements may be located here (see Building Equipment and Service Area guidelines, Chapter 5). Facades shall be treated in two or more of the following ways ~~(see Figure 4)~~:
  - Planters or trellises with vines.
  - Landscaping that covers 30 percent of wall area within three years of planting.
  - Special materials (e.g., decorative patterned masonry).
  - Display windows.
  - Other treatment approved by the City.



- c. Designated side and rear facades located along public streets should be set back at least 20 feet from the sidewalk to accommodate stormwater treatment methods and heavy landscaping.
- d. Visible building façades should be articulated per “Vertical Articulation” guidelines in Chapter 5 under Human/Pedestrian Scale.
- e. Creative use of building materials such as concrete and concrete masonry units is encouraged.

## **C. Land Uses**

### **Intent:**

- To provide a variety of uses that serve the diverse needs and interests of Monroe’s residents and residents within the site’s defined market area.
- To provide for uses that facilitate a pedestrian-friendly environment.
- To provide for uses that support an expanded tax base for the City of Monroe.

### **Guidelines:**

The table below summarizes preferred, acceptable, and prohibited land uses in the planning area’s south site and north site. Guidelines/standards for each of land uses are noted below the table.

***Table 2: North Kelsey Planned Development Area Land Use Matrix***

<b>Land Use</b>	<b>South Site</b>	<b>North Site</b>
1. Retail Trade	Preferred Use	Acceptable Use
2. Commercial Services	Preferred Use	Acceptable Use
3. Office	Acceptable Use	Preferred Use
4. Public, Cultural, and Recreational	Preferred Use	Preferred Use
5. Educational	Acceptable Use*	Preferred Use
6. Residential	Preferred Use	Prohibited Use
7. Industrial, Warehousing, Distribution	Prohibited Use	Acceptable Use

*\* Acceptable as part of a mixed-use development.*

~~1. Retail Trade Uses:~~

~~Retail uses should be the predominate uses in the south site. This includes both small and large scale uses, as long as they are designed consistent with the plan and guidelines. Smaller scale retail uses are encouraged in the areas surrounding the Focal Plaza and Shopping Plaza Corridor. Retail trade uses may include general merchandise stores, food stores, apparel and accessory stores, home furniture, furnishings, and equipment stores, eating and drinking places, miscellaneous retail, and other retail uses.~~

~~2. Commercial Service Uses:~~

~~Commercial service uses, including lodging establishments, limited personal services, limited business services, and limited amusement/recreational service uses are encouraged on the southern site and may be acceptable for the northern site.~~

~~3. Office Uses:~~

~~Office related uses are acceptable on the southern site as long as they are located above the first floor. Office related uses, particularly designed as part of a campus, are encouraged in the northern site.~~

~~4. Public, Cultural, and Recreational Uses:~~

~~Public, cultural, and recreational uses, such as a community center, are encouraged on properties adjacent to the Village Green or Focal Plaza in the southern site. This area shall also include a public restroom. These uses may be acceptable in other areas of the southern site and in the northern site.~~

~~5. Educational Facilities:~~

~~Educational facilities, including a branch college campus or technical college campus, are acceptable uses for the northern site or as part of a mixed-use project.~~

~~6. Residential Uses:~~

~~Multi-family residential uses on upper floors near the Focal Plaza and Village Green in the southern site are strongly encouraged.~~

~~7. Industrial, Warehousing, and Distribution Uses:~~

~~Industrial, warehousing, and distribution uses are permitted by the zoning code [D2].~~

~~8. Drive Through Uses:~~

~~Drive through uses are prohibited.~~

~~9. Other Uses:~~

~~Other uses may be considered by the City.~~

# CD. Parking Areas

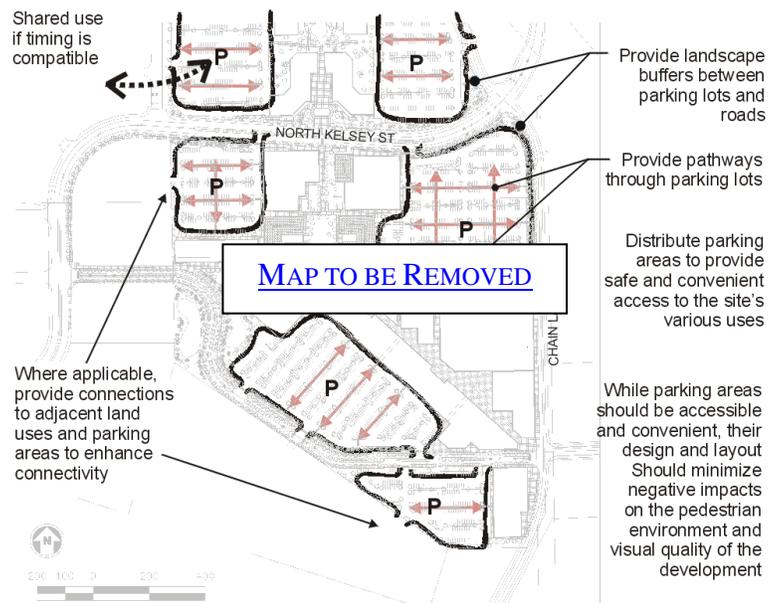
## Intent:

- To provide convenient parking areas that encourage people to leave their cars and walk throughout the North Kelsey Planning Area.
- To provide more flexibility in the design of the development by relaxing existing City parking standards.
- To provide parking areas that do not diminish pedestrian and visual qualities of the site.
- To maintain the built street edge through effective screening of all parking lots.
- To minimize the impacts of driveways.

## Guidelines:

1. Parking areas shall conform to the requirement of MMC, Chapter 18.86 unless otherwise noted in these guidelines. This encompasses dimensional requirements, design, access, loading areas, number of parking spaces, parking area landscaping, and other parking-related requirements.

2. Parking requirements for retail uses shall be relaxed to 1 space per 250 square feet of gross floor area. The City may consider special provisions for joint use of parking when two activities are less likely to occur simultaneously (e.g. office uses and entertainment facilities).



*Figure 16: Parking lot layout and design guidelines.*

3. The landscaped buffer between the sidewalk and the parking area along Chain Lake Road must be expanded to at least 10 feet in width using either Type II or Type III Landscaping standards (MMC, Section 18.78.030) subject to City approval.

4. Pathways through parking lots should be provided. Pathways and crosswalks should be provided along every fourth parking isle or at intervals of less than 150 feet [\(see Figure 5\)](#). Pathways through parking areas should be separated from vehicle parking and travel lanes by use of contrasting surface materials, which may be raised above the level of the vehicular surface. Parking area pathways should be at least 4 feet in width.
5. Structured parking is encouraged provided the building meets the guidelines of Chapter 5.

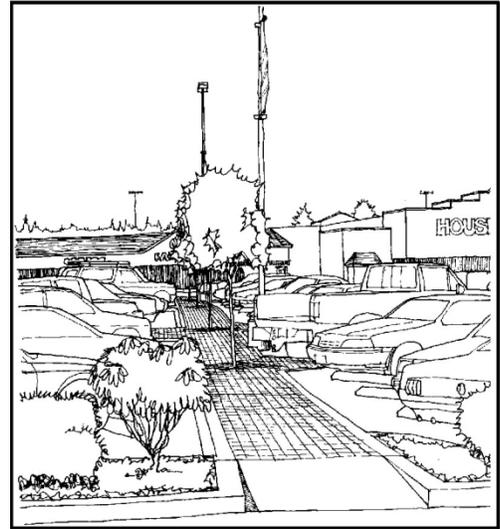


Figure 5-17: Parking pathway example.

## **DE. Street Corners/Highly Visible Locations**

### **Intent:**

- To enhance the appearance of highly visible locations.
- To enhance the pedestrian environment.
- To establish a design identity for the North Kelsey Planning Area.

### **Guidelines:**

The guidelines below highlight desirable design treatments (options noted below) for six specific street corners and/or highly visible locations ~~as noted in the Site Development Concept~~. All proposals for sites should include at least one of the design treatments described below. **EXCEPTION:** Applicants may propose other design treatments for these sites if they can demonstrate successfully that the proposed treatment meets the intent of the guidelines.

1. Street Corner/Highly Visible Location Design Treatment Methods (also refer to Pedestrian Orientation guidelines, Chapter 3):
  - a. Locate a building towards the street corner (within 15 feet of corner property line). Building facades located here are encouraged to include a special element, such as a raised roofline, towers, or an extended parapet, along the most visible views of the structure [\(see Figure 6\)](#).
  - b. Provide a pedestrian walkway and/or plaza space at the corner leading directly to a building entry or shopping plaza space. May be appropriate in conjunction with a Monument Site Entry Sign ~~(see Signage guidelines, Chapter 7)~~.

- c. Install substantial landscaping (at least 200 square feet of ground surface area with trees, shrubs, and or ground cover. May be appropriate in conjunction with a Monument Site Entry Sign. ~~(see Signage guidelines, Chapter 7).~~



Figure 6-18: Street corner example: This building celebrates its corner location by including a corner entry, pedestrian space, weather protection, parapet, and special signage.

2. Specific Sites [see Figure 7](#)):

- a. SR-2/Chain Lake Road (northwest corner): Method “c” is the first preference. High priority site for a Monument Site Entry Sign. ~~(see Signage guidelines, Chapter 7).~~
- b. Chain Lake Road/~~connector road~~[Tjerne Place](#) (both westerly corners): Method “a” or “b” is preferred for the northwest corner; Method “a” is preferred for the southwest corner, with Method “c” as a second preference.
- ~~c. Chain Lake Road (at mid-block entry between North Kelsey Street and Tjerne Place)Chain Lake Road): Any of the three street corner treatment methods described below are acceptable. Method “c” is the first preference.~~

- ce. Chain Lake Road/North Kelsey Street (both westerly corners): Method “c” is preferred for both the northwest and southwest corners. High priority site for a Monument Site Entry Sign (see Signage guidelines, Chapter 7).
- de. North Kelsey Street (at key pedestrian crossing): Method “a” is preferred for all four corners.
- ef. North Kelsey Street/~~connector road~~ Tjerne Place (easterly corners): Method “a” is the preferred treatment of both corners; Methods “b” and “c” are acceptable.

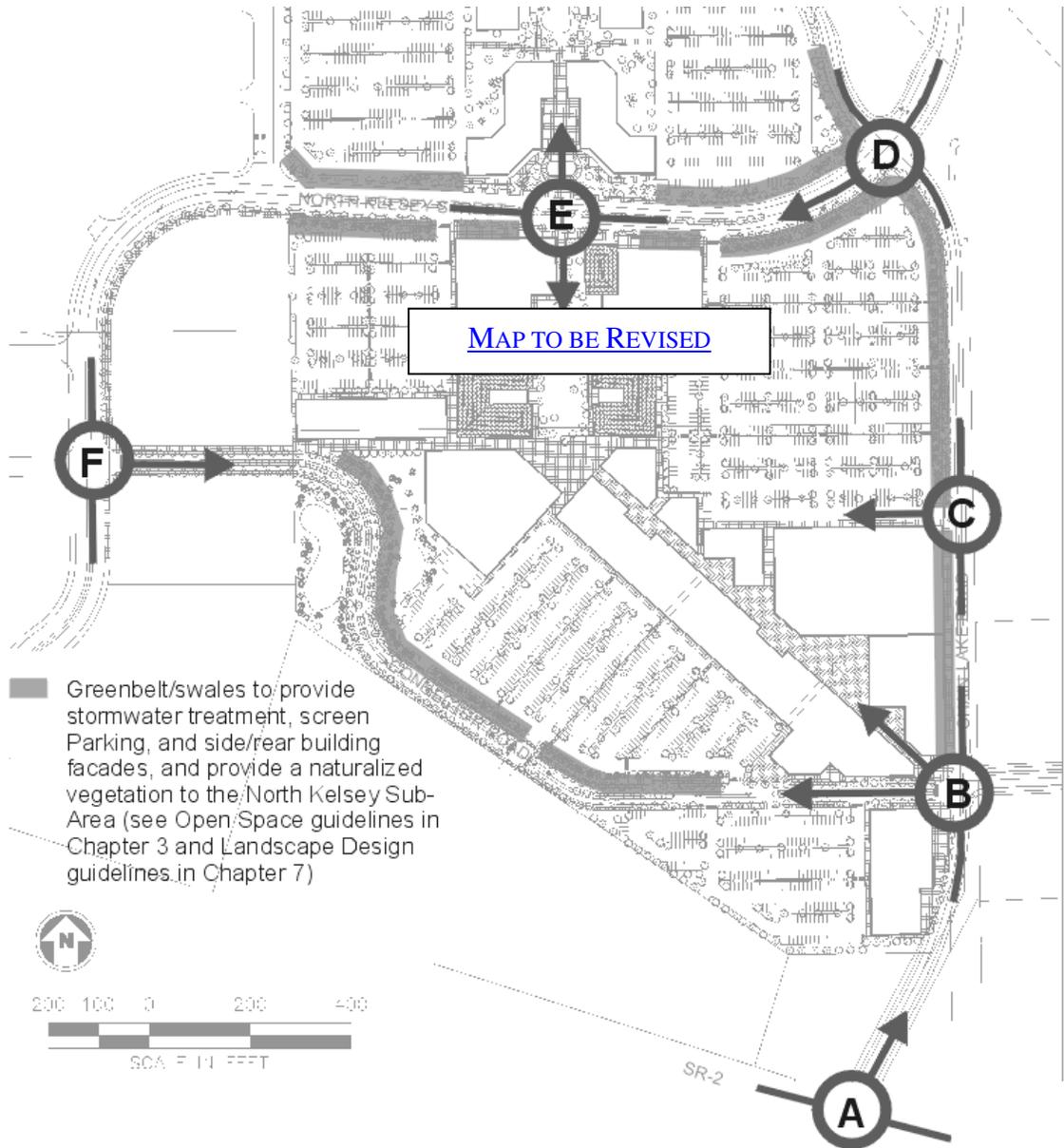


Figure Z-49: Highly visible locations.

# CHAPTER 4: Circulation

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## A. East-West Connector Road

### Intent:

- To provide safe and efficient circulation to, and through, the North Kelsey planning area.
- To enhance access and visibility to North Kelsey planning area uses and amenities.
- To relieve vehicle congestion on SR 2 south of the North Kelsey planning area.
- To provide bicycle and pedestrian access.
- To provide a “green band” around the North Kelsey planned development area and screen parking.

The City has secured a 60-foot right-of-way adjacent to private property on the west side of the site toward North Kelsey Street. Ultimately, this new roadway will connect North Kelsey Street with Chain Lake Road and points east. The guidelines below direct the design of this planned roadway through the North Kelsey planned development area. The exact alignment and configuration of the road is subject to further traffic and engineering analysis. While these guidelines specify an alignment and configuration along the southern project boundary, project proponents may propose an alternate alignment and configuration. The City may allow an alternate alignment and configuration if they meet these guidelines, do not conflict with pedestrian circulation, and otherwise meet the City’s Transportation and Public Works criteria. Also note that the southern alignment was favored by project participants for several reasons, including:

1. It minimizes conflict with pedestrian circulation.
2. It does not divide the site.
3. It appears to contribute to stormwater management.
4. It provides for effective through traffic and access to parking.

### Guidelines:

1. Alignment: The planned east-west connector road should be aligned consistent with the Site Development Concept; Generally towards the southern end of the site and intersecting with Chain Lake Road approximately 600 feet from the SR 2 intersection and compatible with the planned Woods Creek Road connection. (See Figure 20). (Note: This alignment is subject to further analysis.)

2. Configuration: The roadway should include one travel lane in each direction, a landscaped median/center turning lane, landscaped planter strips with street trees, and provisions for both cyclists and pedestrians (see Figure 21 below and Sidewalk and Pathway and Bicycle Circulation and Amenities guidelines on the following pages).

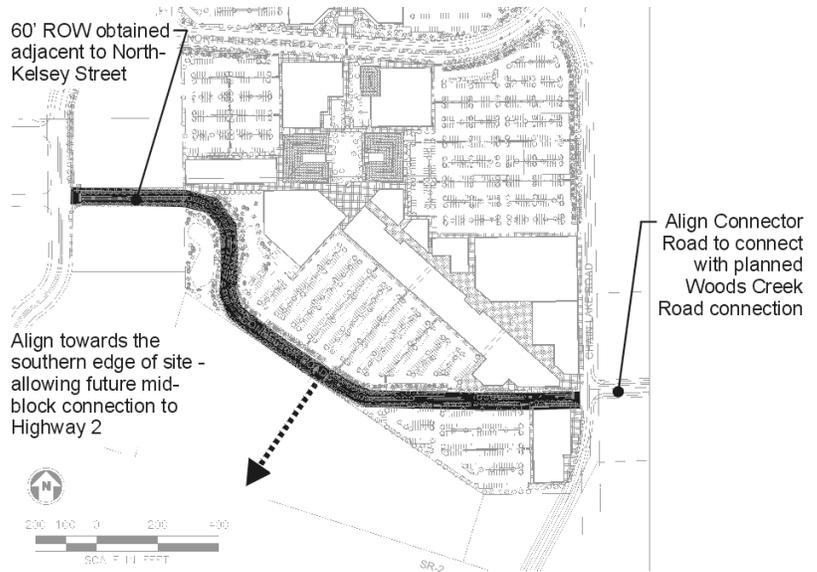


Figure 20: Connector road alignment.

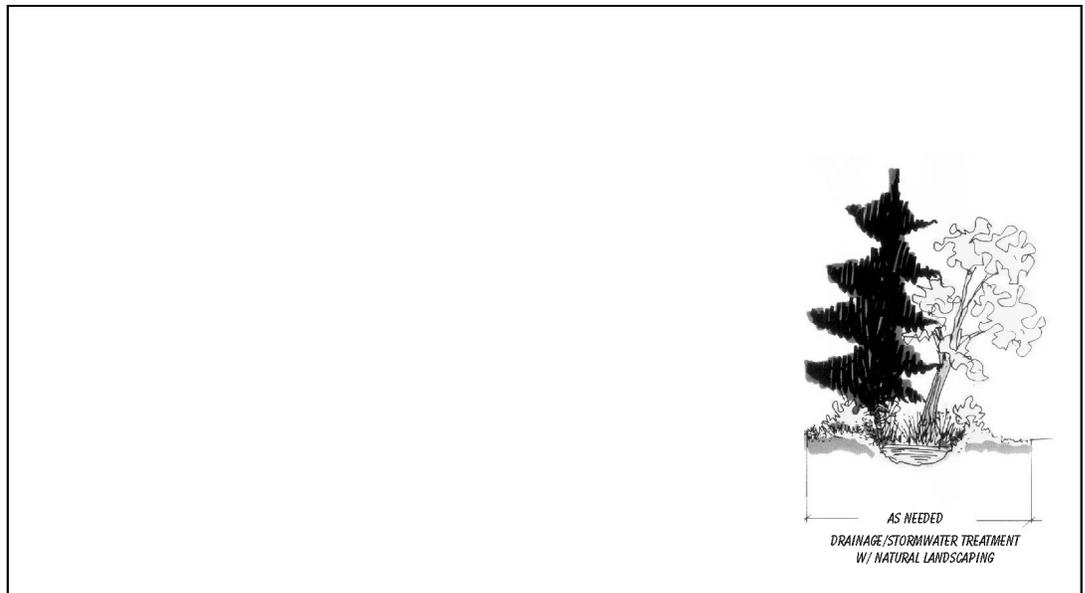


Figure 21: Connector road design cross-section.

3. Travel Lanes/Center Turn Lane: The travel lanes and the center turn lane/median should be designed per the City's Engineering Standards and subject to Bicycle Circulation and Amenities guidelines on the following pages.
4. Landscaped Median: Where the center turn lane is not necessary for turning movements, a landscaped median should be installed. Landscaping should include canopy type broadleaf trees placed an average of 25 on center; Evergreen shrubs no more than 4 feet in height; and Ground cover in accordance with the City of Monroe Landscape Standards (MMC Chapter 18.78).

- ~~5. Sidewalk/Trail: A 4-foot sidewalk with a 5-foot planting strip should be provided on the south side of the road and a 12-foot wide bicycle/pedestrian pathway with a 5-foot planting strip on the north side.~~
- ~~6. Landscaped Stormwater Detention Swale: These facilities shall meet stormwater requirements and to be landscaped with dense native trees and shrubs.~~

~~For other landscaping standards, see Street Landscaping guidelines, Chapter 6.~~

## B. Sidewalks and Pathways

*NOTE: Sidewalks refer to concrete pedestrian routes adjacent to public rights-of-ways. Pathways refer to all other pedestrian routes.*

### Intent:

- ~~To p~~ Provide a safe environment for pedestrians to move throughout the North Kelsey planning area and separation of pedestrian and vehicular traffic.
- ~~To e~~ Create a varied and rich environment to encourage people to explore the area on foot.

### Guidelines:

1. All public open spaces, walkways, and sidewalks shall meet ADA standards.
2. Sidewalks should be separated from the roadway by planting strips with street trees wherever possible. Planting strips should generally be at least 5 feet in width and include evergreen shrubs no more than 4 feet in height and/or ground cover in accordance with the City of Monroe Landscape Standards (MMC Chapter 18.78), and canopy-type broadleaf trees placed an average of 25 feet on center. EXCEPTIONS: Where space is limited, planting strips less than 5 feet in width may be permitted by the City; Street trees placed in tree grates may be more desirable than planting strips in key pedestrian areas.
3. Acceptable sidewalk widths may range from 4 to 12 feet depending on adjacent uses and anticipated pedestrian activity. ~~Refer to Figure 21 for appropriate sidewalk widths on the connector road.~~ Sidewalks along major connector routes such as North Kelsey Street or Chain Lake Road should be at least 8 feet in width to accommodate two couples passing each other.
4. Pedestrian crosswalks shall be provided at all intersections. These shall be indicated with distinctive paving.
5. The addition of texture to the ground plane of key sidewalks and pathways with unit pavers, bricks, tiles, or public artwork is encouraged.
6. ~~Pathways that provide key access to the Focal Plaza, Shopping Corridor, Village Green, or other key sites (see Figure 22) are termed "Primary Pathways."~~

Primary pathway surfaces should be at least 15 feet in width (to accommodate fire apparatus access and groups of people):

67. Other pathways are termed “Secondary Pathways.” Secondary Pathways may vary in width according to intended function and expected use (subject to City approval). Where secondary pathways are located within corridors between structures, such corridors should be at least 12 feet in width.

740. Pedestrian amenities, including landscaping and seasonal flowers, benches, lighting, and/or artwork, shall be provided along Primary and Secondary Pathways to create visual interest (see Plaza Landscaping guidelines in Chapter 6).

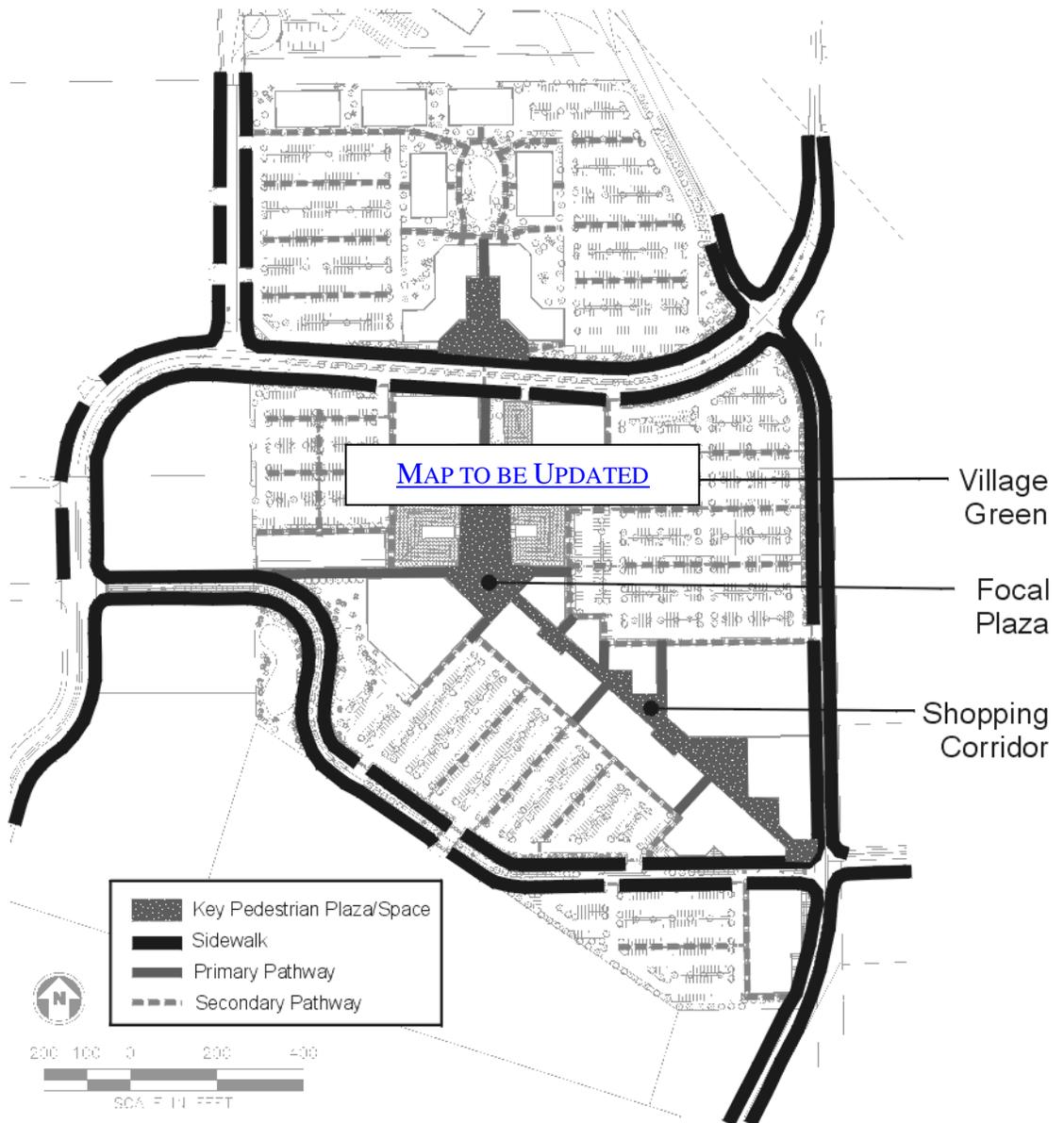


Figure 922: Example pedestrian network for the North Kelsey Planned Development Area.

~~811~~. Safe pathways to all uses and buildings and around and through parking areas are required (see Parking Area guidelines, Chapter 3).

## C. Bicycle Circulation and Amenities

### Intent:

- ~~PTo~~ provide safe and efficient bicycle access to and within the North Kelsey Planning Area.
- ~~PTo~~ promote bicycling as an alternative method of transportation.

### Guidelines:

1. Safe bicycle access should be provided within each public right-of-way developed within the North Kelsey planning area. The City will consider the following options:
  - a. Bike Lanes. Standard bike lanes are 5 feet in width. This is the preferred option for Chain Lake Road (where there is sufficient right-of-way width) since bicycle lanes would connect with planned bicycle lanes north of the site.
  - b. Wide Curb Lanes. This involves 14-foot travel lanes rather than the standard 11- or 12-foot lanes so cyclists can safely share the road with vehicles. Although such wide curb lanes are often striped, they are not signed or officially designated as bike lanes. With limited space, this is often the most effective way to provide safe bicycle access.
  - c. Multi-Use Pathway. This combines bicycle and pedestrian access on an asphalt pathway separated from the roadway. Ideally, such a multi-purpose pathway should be 12 to 14 feet in width (~~see Figure 21 for connector road pathway~~). Where space and use are expected to be limited, an 8-foot wide pathway (with center striping) may be acceptable. Pathway design should ensure adequate site distance.
2. Special care should be exercised on how either of these bicycle facilities transition to existing and planned off-site roadways – particularly Chain Lake Road and North Kelsey Street towards SR-2. Where necessary, provide signage to note safest bicycle access routes.

# CHAPTER 5:

## Architectural/Building Design

---

### A. Architectural Concept

#### Intent:

- ~~C~~To create, through the architectural, landscape, open space, and gateway elements, an identity ~~unique within the region and that reflects Monroe's small town character~~ that reflects Monroe's vernacular architectural character.
- ~~To reflect Monroe's vernacular architectural character (excluding the post-War highway strip development).~~
- ~~P~~To provide a high-quality image with well-designed and detailed buildings, minimization of corporate identity elements (stock buildings and signs), and an emphasis on subtlety and refinement rather than on flashy or trendy design themes.
- ~~To create an assemblage of buildings within the planned development area with an intimately scaled (i.e., the buildings appear to be smaller in size, generally less than 150 feet in length along a façade, even though the building footprint may be larger) and informal architectural character.~~
- ~~C~~To create a varied, non-homogenous ~~set of~~ buildings within the planned development area that give the sense of natural evolution over time rather than a result of a single, one-step development—and to emphasize the fact that the building elements can naturally evolve and change over time. ~~without disrupting a constricting design theme.~~

#### Guidelines:

1. The buildings proposed for the North Kelsey ~~planned~~ development area should be based on a comprehensive architectural concept that achieves the intent statements above. Specifically, the design of the specific buildings should address:
  - Pedestrian interest, ~~and~~ comfort ~~along the perimeter of open spaces and pedestrian connections throughout the area.~~
  - ~~The size of building~~ size and massing ~~and elements relative a human body at human scale.~~
  - ~~The p~~Perceived massing of the building relative to nearby structures, ~~open spaces~~ pedestrian areas, and landscape elements.
  - Monroe's architectural and cultural setting.
  - The variety of sequential experiences and design characters within the site.

While the individual design guidelines in this section address some of these issues specifically, the intent of this guideline is to encourage the designers to consider

how the various aspects of the design work together. Applicants should be prepared to demonstrate how the proposed buildings respond to the intent statements. The City will review applicants' proposals and determine whether or not they meet the intent.

## B. Human/Pedestrian Scale

### Intent:

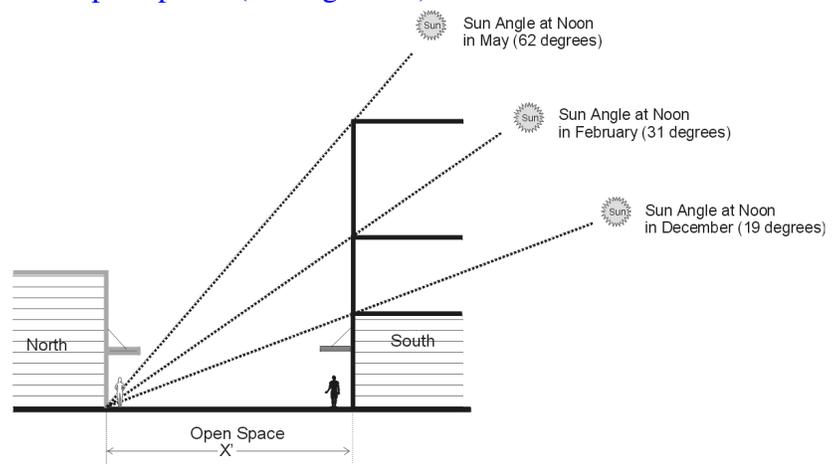
- ~~C~~To create an assemblage of buildings development with an intimately scaled human scaled appearance and informal architectural character.
- ~~T~~To architecturally address treat large buildings to ensure that they do not dominate the area's identity.
- ~~P~~To provide interesting and sheltering pedestrian-oriented facades.

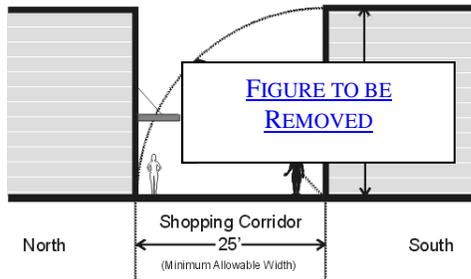
### Guidelines

1. Building Height: Commercial/office buildings should be 1 to 3 stories high, with a maximum height of 35 feet. The City will consider higher building heights if the applicant can demonstrate consistency with overall design guidelines intent. Special features such as towers or clerestories may be taller, if approved by the City.

Sunlight should be considered within the planned development area with regard to the height of buildings adjacent to ~~open spaces such as the Shopping Corridor, Focal Plaza, and Village Green~~. Generally, buildings on the south side of these ~~open~~ spaces should be sized to allow direct year-round sunlight on south-facing structures (see Figure ~~91023~~). ~~Specifically, building heights on the south side of the Shopping Corridor, Focal Plaza, and Village Green should not exceed a 1:1 ratio with the width of such open spaces (see Figure 24).~~

Figure ~~1023~~: Sunlight should be considered in the height and design of structures adjacent to major open pedestrian spaces.



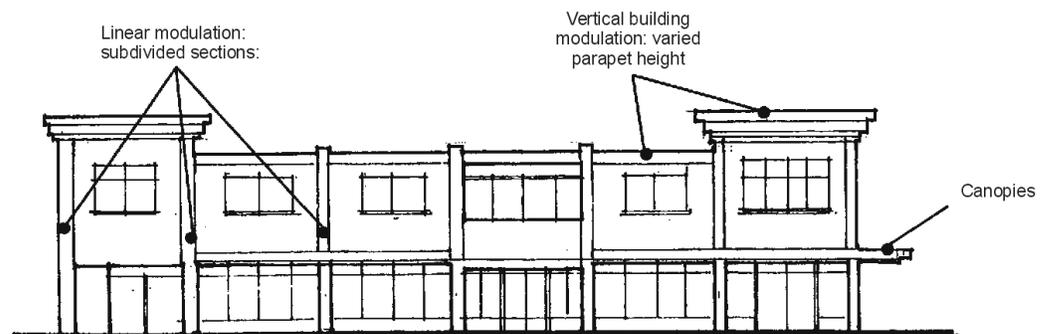


heights on the open spaces, shopping Corridor, shall ratio with the width

2. Vertical Articulation: In order to prevent long stretches of monotonous façade, buildings with visible facades over 100 feet in length as measured parallel to a roadway, parking area, pedestrian connection, or pedestrian space public open space should be vertically articulated into sections averaging not more than 50 feet along the façade at regular intervals. Articulation may be accomplished in several ways, including:

- Modulation—the stepping back or projection of a portion of the façade.
- Including significant building elements such as balconies, porches, canopies, towers, or entry areas that visually break up the façade.
- Building focal points that include, for example, distinctive entry features.
- Changing the roofline.
- Changing materials.
- Landscaping.
- Using other methods acceptable to the City.

Figure 1125: Building articulation: Varied parapet and recessed entries.



## C. Architectural Elements

### Intent:

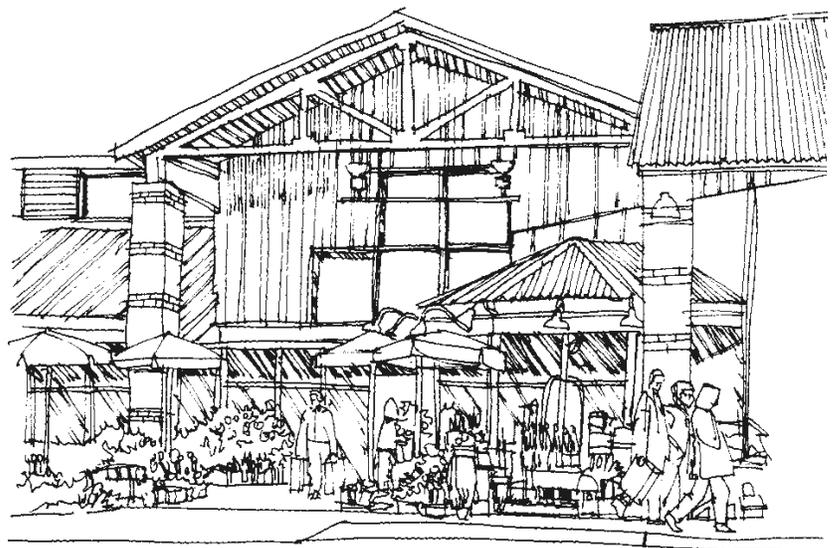
- **To eC** Create an intimately scaled, pedestrian friendly, and informal architectural character.
- **To rR** Reflect Monroe's vernacular architectural character (excluding the post-War highway strip development).
- **To eE** Enhance the quality of both individual buildings and the North Kelsey Planning Area streetscape as a whole.
- **To eE** Encourage use of quality building materials with a low life cycle cost.
- **To eC** Create design unity, a sense of place, and community identity.
- **To rR** Reduce the visibility of unsightly service and utility elements from view while providing efficient service and equipment areas.

### 1. Roofs

#### Guidelines:

1. Roof designs should provide scale-reducing elements within the North Kelsey planned development area. It is recommended that buildings have a variety of roof slopes, details, materials, and configurations.
2. All flat roofs shall be architecturally treated or articulated with a parapet wall combined with ornamental molding, entablature, frieze, cornice, or other architectural roofline detail visible from the ground level. Parapets and articulated cornice lines should not appear as applied elements.
3. Roof-mounted mechanical equipment (HVAC) must be screened from view.

*Figure 2612: The gabled roof over the building entry together with pedestrian-scaled elements and a variety of building materials provides visual interest to this largely square, flat-roofed building.*



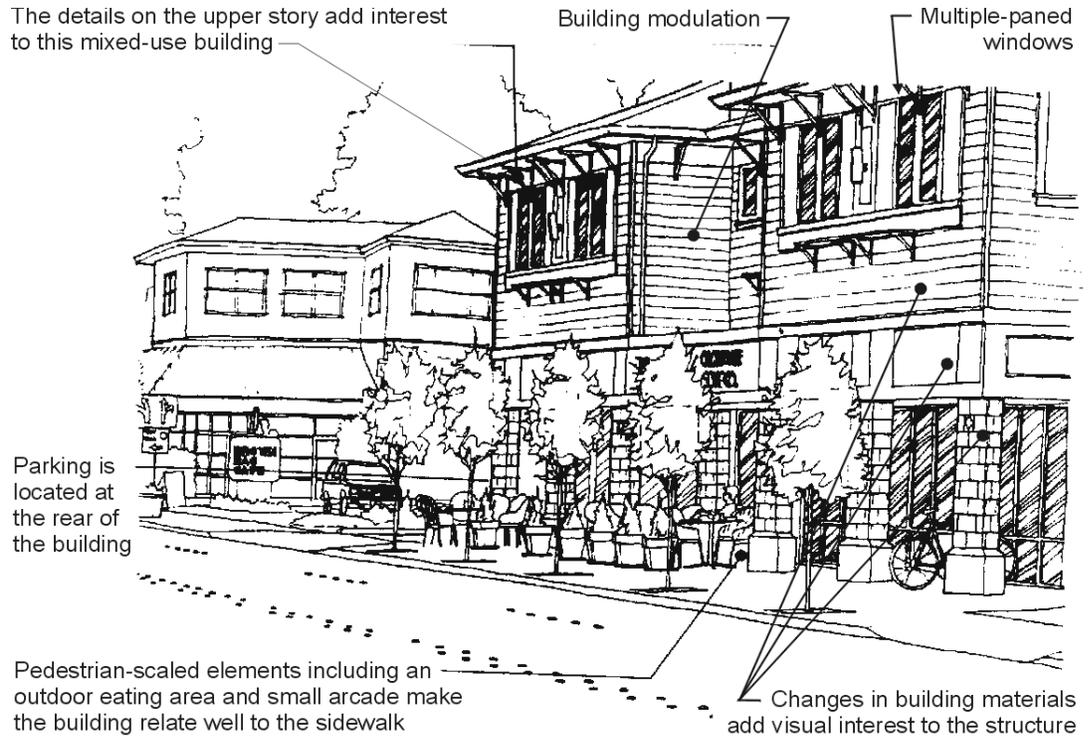


Figure 1327: Examples of building details.

## 2. Building Elements and Details

### Guideline:

All building facades shall incorporate a substantive use of building elements, such as those from the list that follows, as approved by the City, ~~to achieve a pedestrian scale.~~ “Substantive” in this case means a significant contribution to the form and character of the building. Note that “decorative” means that the feature exhibits special craftsmanship or distinctive design that adds visual interest and/or unique character. Suggested building elements include:

- Articulated building elements through treatment of windows, doors, entries, and corners with special trim, molding, or glazing.
- Permanent pedestrian weather protection (building canopy).
- Decorative building materials, such as tile and metal work.
- Enhanced or articulated building entrances (recessed or covered).
- Pergolas, arcades, porches, decks, or bay windows.
- Balconies in upper stories.
- Address numbers legible to the public from the street or pathway fronting the property or building.
- Multiple-paned window fenestration (windows with several panes separated by mullions).

- Windows. All windows should either have a vertical orientation (e.g., be longer in the vertical dimension than in the width) or be square in order to qualify as special elements.

### 3. Exterior Materials

#### Guidelines:

1. Use durable and high-quality materials. Shiny or highly reflective materials are not allowed. Materials should be those of typical use in the Northwest, including:
  - Bevel or lap siding.
  - Rock, stone, and brick material.
  - Architectural shake-style roofing.
  - Metal roofs with standing seams.
2. If sheet materials, such as composite fiber products or metal siding, are used as a siding material over more than 25 percent of a building's façade, use material with a matted finish in a muted color as specified in Color guidelines below. Include the following elements:
  - Visible window and door trim painted or finished in a complementary color.
  - Corner and edge trim that covers exposed edges of the siding material.
3. If concrete blocks (concrete masonry units or "cinder blocks") are used for walls that are visible from a public street or park, use one or more of the following architectural treatments:
  - Use of textured blocks with surfaces such as split-face or grooved.
  - Use of colored mortar.
  - Use of other masonry types, such as brick, glass block, or tile, in conjunction with concrete blocks.
  - Other treatment methods approved by the City.

The applicant shall provide the City with samples of the material, proposed detail connections and a list of other project examples in the Puget Sound region that have used this application.
4. Do not use the following materials in visible locations unless an exception is granted by the City:
  - Mirrored glass.
  - Corrugated fiberglass.
  - Chain-link fencing (with or without slats).
  - Synthetic materials with reflective surfaces, including galvanized steel and glossy vinyl siding.
  - Other treatment methods approved by the City.

5. Paint all vents, gutters, downspouts, flashing, and electrical conduits to match the color of the adjacent surface unless they are being used expressly as a trim or accent element, or if the surface is made of an unpainted material such as brick.
6. Provide approved address numbers so that they are legible to the public from the street fronting the property.

## 4. Colors

### Guidelines:

1. Submit a color palette.
2. Muted colors are encouraged for the background color of most buildings. A darker background color will allow the effective use of lighter colors for trim – where the highlights will show up better.
3. Bright colors should generally be reserved for accents. Doors or special features may be painted a bright accent color.
4. Bright luminescent or day-glow color are not allowed.

## 5. Building Equipment and Service Areas

### Guidelines:

1. Building service elements and utility equipment should be contained within the building envelope, screened from public view, or on roofs where not visible to the public.
2. All on-site service areas, loading zones, outdoor storage areas (except outdoor retail sales areas under 100 square feet in occupied area), waste storage, disposal facilities, transformer and utility vaults, and similar activities shall be located in an area not visible from a public street, pedestrian connection, or open space. If this is not possible, then the service area, loading zone, storage area, or utility area must be screened from public view. Acceptable screening includes:
  - A masonry or wood enclosure incorporated into a building wall.
  - A solid hedge or other screening as approved by the City.(Note: Visible chain link fencing with or without slats is not permitted.)
3. Service or utility areas or enclosures shall not be located in or be visible from ~~public open space, including the Village Green and Focal Plaza~~ pedestrian areas.

# CHAPTER 6:

## Landscape Design

---

### Intent:

- ~~To a~~Achieve a high quality landscape that features a variety of plant materials.
- ~~To u~~Utilize landscape materials to strengthen and unify the planning area's design identity.
- ~~To s~~Select plant materials that are relatively hardy and require minimal maintenance.
- ~~To a~~Add color, texture, and interest to the center.
- ~~To s~~Screen high-impact uses.

## A. Landscape Plan Concept

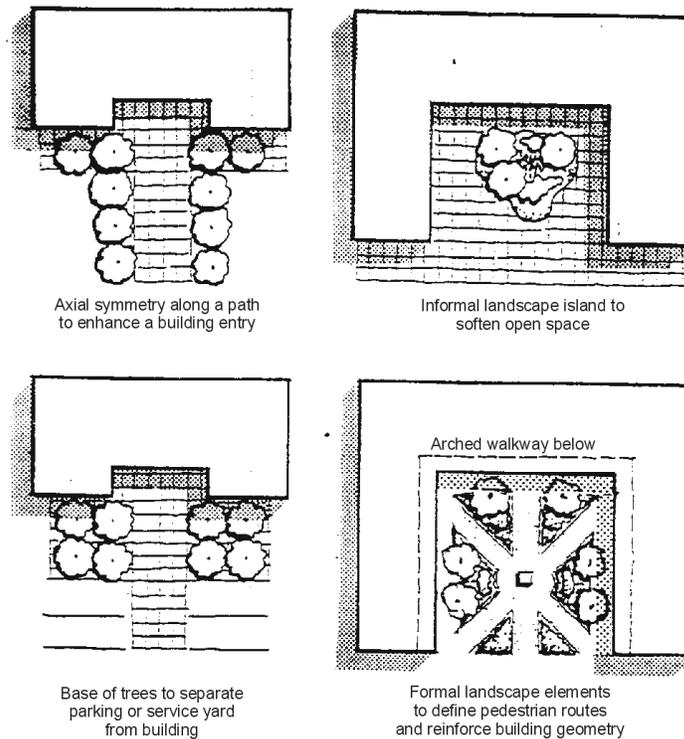
### Intent:

- ~~To p~~Provide visual relief from large expanses of parking areas and integrate new construction into the natural environment.
- ~~To p~~Provide some physical separation between vehicular and pedestrian traffic.
- ~~To p~~Provide decorative landscaping as a focal setting for signs, special site elements, and/or pedestrian areas.
- ~~To p~~Provide increased areas of permeable surfaces to allow for infiltration of surface water into groundwater resources, reduce the quantity of stormwater discharge, and improve the quality of stormwater discharge.

### Requirements:

1. Submit a landscape design plan and be prepared to demonstrate that the plan addresses the following considerations:
  - A unified pedestrian circulation system with amenities and plantings.
  - A coordinated system of open spaces and/or planted areas that provide the required pedestrian areas. The plan should indicate how the various spaces and plantings relate to the project's site design objectives of continuity, variety, activity, etc. The applicant should demonstrate that the landscaping treatment has a "concept" such as the example in Figure 28.
  - Screening of service or unsightly areas.
  - Plantings and/or site features that enhance the building's architectural qualities.
2. In addition, the design should consider the following landscape design objectives where appropriate:

- Where feasible, coordinate the selection of plant material to provide a succession of blooms, seasonal color, and a variety of textures.
- Provide a transition in landscaping design between adjacent sites, within a site, and from native vegetation areas in order to achieve greater continuity.
- Design landscaping to create definition between public and private spaces.
- Design landscaping to provide a transition between built structures (vertical planes) and the site (horizontal planes).
- Use plantings to highlight significant site features and to define the function of the site, including parking, circulation, entries, and open space.



*Figure 2814:  
Examples of  
landscape  
designs  
associated  
with buildings.*

## B. Street Landscaping

### Guidelines:

1. Sidewalks and pathways should be separated from the roadway by planting strips with street trees wherever possible.
2. Planting strips should generally be at least 5 feet in width ([see Figure 21, Connector Road cross-section](#) [see Figure 8, Tjerne Plan cross-section](#)). They should include evergreen shrubs no more than 4 feet in height and/or ground cover in accordance with the City of Monroe Landscape Standards (MMC Chapter 18.78), and canopy-type broadleaf trees placed an average of 25 feet on center. **EXCEPTIONS:** Where space is limited, planting strips less than 5 feet in width may be permitted by the City.

3. Street trees placed in tree grates may be more desirable than planting strips in key pedestrian areas.
4. Use of trees and other plantings with special qualities (e.g., spring flowers and/or good fall color) are strongly encouraged to unify development in the North Kelsey planning area.
5. Also see Building Orientation guidelines in Chapter 3 and Parking Lot Screening below for areas within the planned development area.

## C. Parking Lot Screening

### Guidelines:

1. Provide a landscaped drainage/stormwater treatment buffer between the sidewalk/street and parking area where possible. Size the buffer as necessary to perform required stormwater treatment function for a minimum of 20 feet is suggested. (See Figure 8-21.) Otherwise, a 5-foot wide landscaping buffer consistent with Type III landscaping as specified in MMC, Chapter 18.78, to provide a see-through buffer between public streets and parking lots is required; EXCEPTION: The landscape buffer must be 10 feet between parking areas and sidewalks along Chain Lake Road.

## D. Parking Lot Interior

### Guidelines:

1. Type IV landscaping as specified in MMC, Chapter 18.78, is required to provide shade and visual relief while maintaining clear site lines within parking areas.

## E. Plaza/Pedestrian Area Landscaping within the Planned Development Area

These guidelines involve all other pedestrian-oriented spaces and open spaces.

### Guidelines:

1. A range of landscape materials—trees, evergreen shrubs, ground covers, and seasonal flowers—shall be provided for color and visual interest.
2. Planters or large pots with small shrubs and seasonal flowers may also be used to separate café seating from traffic flow and create protected areas within the plaza for sitting and people watching.
3. Creative use of plant materials, such as climbing vines or trellises, and use of sculpture groupings or similar treatments are also encouraged.
4. All landscaping shall be as approved by the City.

5. Sun angle at noon and wind pattern should be considered in the landscaping design of the plaza to maximize sunlight areas.

## F. Screening High-Impact Uses

### Guidelines:

1. High impact uses such as sand and gravel mining operations ~~or~~ manufacturing ~~or~~ public works facilities should be screened with a landscape berm ~~per Figure 29~~ below.

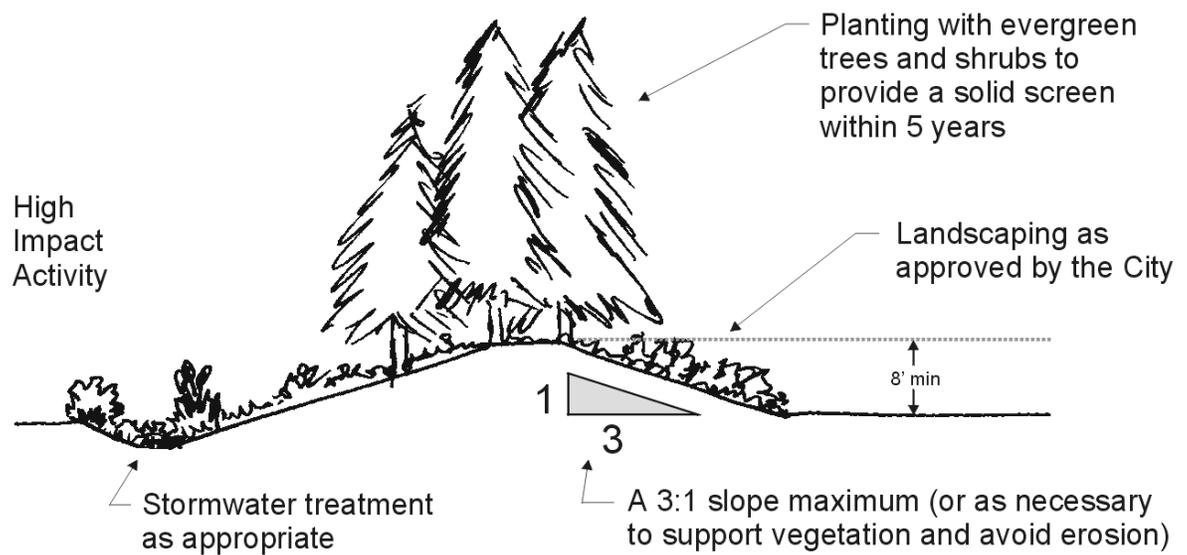


Figure 1529: Screening high impact uses.

# CHAPTER 7: Signage and Lighting

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## A. Signs

### Intent:

- To encourage signage that is both clear and of appropriate scale for the project.
- To enhance the visual qualities of signage through the use of complementary sizes, shapes, colors, and methods of illumination.
- To provide signage guidelines that meet commercial tenant needs.
- To provide a comprehensive sign program that creates consistent design criteria for the entire North Kelsey planning area.

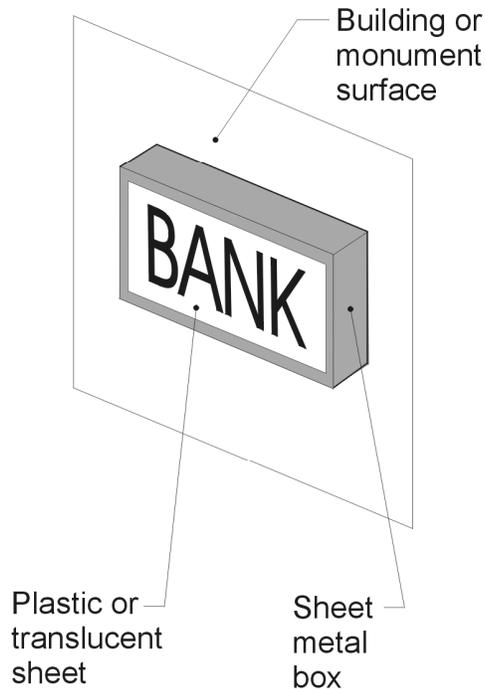
### Guidelines:

#### 1. General Standards:

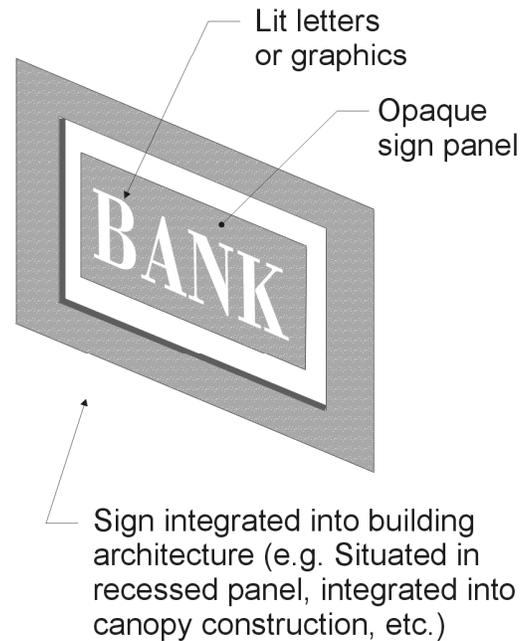
Types of signage fall into three categories: monument site entry signs, tenant signs (large and small), and public and directional signs.

- a. All signage must comply with the following guidelines:
  - Signage must be of high-quality design and materials, consistent with the design of the North Kelsey planning area.
  - Signs may be fabricated of mixed media, including metal reverse-illuminated letters, suspended neon letters, illuminate individual letters, or signs etched or cut out of solid material, such as wood or brass, and illuminated from behind.
  - Signage shall be consistent throughout the planned development area and always complement a building's character (e.g., walls signs should avoid covering building columns).
- b. Non-illuminated mixed-media, and other special mixed-media signs will be subject to approval by the City.
- c. Back-lit translucent awnings and/or awning signs are not permitted.
- d. Back-lit signs with letters or graphics on a plastic sheet (can signs) are not permitted. Generally, these signs are of low quality, easily broken, and not integrated into the building's architecture. However, back-lit letters or graphics that are part of a sign that is integrated into the building's architecture are permitted (see examples on the following pages).

**Typical “can signs”  
are not acceptable**



**Internally lit letters  
or graphics are acceptable**



*Figure 30: Appropriate and inappropriate signage.*

- e. The following signs and sign elements are prohibited:
- Pole-mounted signs.
  - Signs employing moving or flashing lights.
  - Signs employing exposed electrical conduits.
  - Visible ballast boxes or other equipment.
  - Signs with luminous plastic letters.
  - Audible or odor-producing signs.
  - Cardboard signs.
  - Roof-mounted and temporary-type signage, such as banners. (Note: Temporary signage for special occasions will be permitted, subject to City approval of both design and duration of display.)
  - Off-premises signs, except public directional and site identification signs.
- f. Cinemas and community centers may have changeable letter signage.

2. Public and Directional Signs:

a. *Placement:*

- (1) Public and directional signs may include directional signage and street name markers, pedestrian trail markers, project tenant directories, kiosks, theme elements, and miscellaneous exterior site signage. The design of these elements typically shall share consistent design patterns and express character of the North Kelsey planning project.
- (2) Directional signage shall be required to direct traffic to public parking.
- (3) Pedestrian trail/routes shall be identified.
- (4) Public and directional signs of the North Kelsey planned development area shall be coordinated throughout the site. Information and directional signage design must integrate with the various design areas.

b. *Maximum Size and Quantity Limitations:*

- (1) Parking lot signage for the planned development area shall be limited to one sign per entrance.
- (2) The size and areas of public directional signs shall be reviewed and approved by the City based on design quality, attractiveness and thematic, functional, and scale appropriateness.

3. Tenant Signs:

For purposes of these guidelines, “Tenants” shall be considered those with less than 12,000 square feet of leasable area, and “Large Tenants” shall have a leasable area of 12,000 square feet and greater.

a. *Placement:*

- (1) Wall signs for retail shops shall be located in the storefront area above door height and below the canopy (typically 8 feet above the floor). Wall signage located at building focal points is an exception to this guideline.

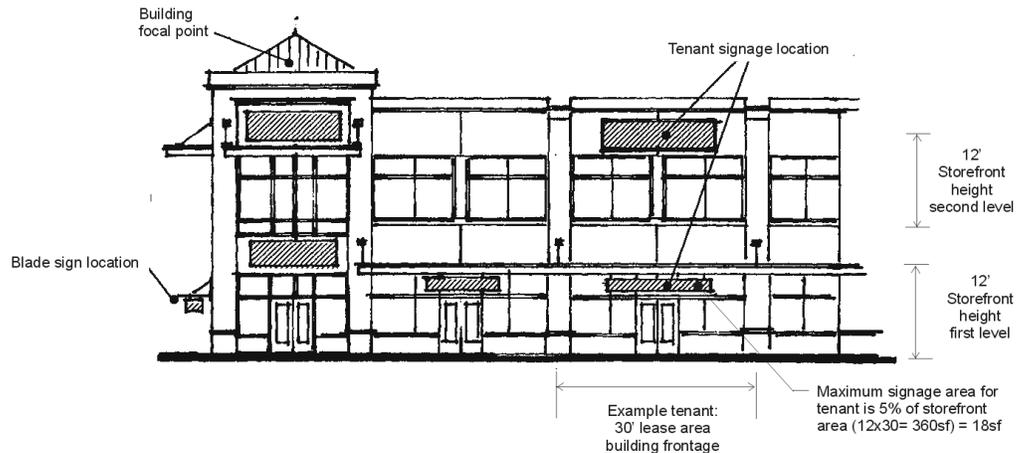


Figure 30: Sign design standards.

- (2) Signs shall be centered between architectural elements and between columns to allow building architecture to be expressed. Signs shall not necessarily be centered on leased premises.
- (3) Signs shall be compatible in scale and proportion with building design and other signs.
- (4) Blade signs, which hang from the canopy, arcade, or building front, may be utilized to increase visibility.
- (5) Upper-level tenants and large tenants may have signs located above the storefronts and below roof-line or cornices, subject to City approval, to accommodate signs visible from adjacent streets.
- (6) Service/secondary signage shall be allowed.
- (7) Signage within the planned development area shall be placed facing public plazas and/or streets. When tenants face two streets or a street and a plaza, signage is allowed on both facades. Each sign is calculated separately and shall conform to all applicable maximum area limitations. Calculated maximum areas are not transferable to other facades. Each tenant is allowed to place signage on no more than two facades.

b. *Size/Design:*

- (1) Office tenant signage maximum is 100 square feet. Approval shall be based on sign design quality, attractiveness, scale appropriateness, and compatibility with the building to which it is attached.
- (2) Letter height shall not exceed 18 inches. Larger first letters up to 24 inches will be permitted.
- (3) Length of the signs shall not be more than two-thirds of the overall leased façade area or less than 3 feet from the demising wall of the leased premises.
- (4) Wall-mounted signs shall not project more than 6 inches from the building.
- (5) Hanging blade signs shall not have an area of more than 3 square feet or exceed 2 inches in thickness. Blade sign area is not included in the signage area. The bottom of the sign should not be lower than 8 feet above ground.
- (6) Service/secondary signage maximum area is 2 square feet.

*Tenant Signage Requirements within the Planned Development Area:*

- Tenant signage calculations apply to tenants with *less* than 12,000 square feet of leasable area.
- Maximum signage area is calculated at 5 percent of storefront area.
- Maximum signage area shall not exceed 24 square feet in total area for any single storefront.
- Each street or plaza frontage is calculated separately.
- Maximum area calculation shall not transfer to other storefronts on other building elevations.

- “Storefront” refers to the first 12 feet above each tenant floor of lease area building frontage facing a street or plaza.

*Example: Storefront area dimensions: 12' x 30' = 360 SF.*

*Signage allowed: 360 SF x 5% = 18 SF*

Large tenant signage requirements:

- Tenant signage calculations apply to tenants with *more* than 12,000 square feet of leasable area.
- Maximum signage area is calculated at 5 percent of storefront area.
- Maximum signage area shall not exceed 200 square feet in total area for any single storefront.
- Each street or plaza frontage is calculated separately.
- Maximum area calculation shall not transfer to other storefronts on other building elevations.
- “Storefront” refers to the first 12 feet above each tenant floor of lease area building frontage facing a street or plaza.

*Example: Storefront area dimensions: 12' x 90' x 2 floors = 2,160 SF.*

*Signage allowed: 2,160 SF x 5% = 108 SF*

4. Monument Site Entry Signs for the Planned Development Area:

a. *Placement and Design:*

- (1) Monument Site Entry Signs may be located at major entries connecting to SR-2 and other streets connecting to the planned development area (also see Street Corners/Highly Visible Locations, Chapter 3).
- (2) Signs shall be designed to integrate with adjacent site landscaping.
- (3) Entry signs shall be unified by common design and graphic elements. It is encouraged that monument entry signs share design elements with the public and directional signs throughout the site.
- (4) Entry signs shall identify the North Kelsey planned development. No individual tenant names shall be identified.

b. *Maximum Size and Quantity Limitations:*

- (1) The maximum height and width shall be as approved by the City, with proposals reviewed for scale, design quality, attractiveness, and functional appropriateness for the North Kelsey planning area.

## **B. Lighting**

### **Intent:**

- To provide adequate lighting to ensure safety and security.
- To enhance and encourage evening activities.
- To provide a distinctive character to the area.

### **Standards:**

1. Sidewalks must average between 1 and 2 foot-candles. Primary Pathways must average between 2 and 4 foot-candles. The Focal Plaza, Shopping Corridor, and Pedestrian-Oriented Spaces within the Planned Development Area must be at least 2 foot-candles (also see Chapter 3). Parking areas must average at least 1 foot-candle. Parking lot pathways must be average at least 2 foot-candles.
2. The color of light should be considered in the lighting design. For example, metal halide is recommended for general usage at building exteriors, parking areas, and pedestrian courts as well as in streetlamps and for lighting street trees. Low-pressure sodium, which casts a yellow light, is not recommended except for streets and parking lots.
3. Uplighting on trees and provisions for seasonal lighting are encouraged.
4. All efforts to reduce glare into the North Kelsey planning area and surrounding community from street and parking area lights should be undertaken.
5. Accent lighting on architectural and landscape features is encouraged to add interest and focal points.
6. Pedestrian-scaled lighting is required within the planned development area along all streets and in all public plazas and courts. Pedestrian-scaled lighting fixtures are generally 12-14 feet and of a character complementary to the building architecture.
7. Parking area lighting shall not exceed 25 feet in height and shall be baffled to minimize glare and spillage into the surrounding community.

# Definitions

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*Articulation* – Articulation is design emphasis placed on a particular architectural feature by special details, materials, change in building plane (recessed or extended from building surface), contrast in materials, or decorative artwork.

*Blank Walls* - walls subject to "blank wall" requirements meet the following criteria:

- Any wall or portion of a wall that has a surface area of 400 SF of vertical surface without a window, door, building modulation as defined below or other architectural feature (see figure below for measuring methods).
- Any ground level wall surface or section of a wall over 4' in height at ground level that is longer than 15' as measured horizontally without having a ground level window or door lying wholly or in part within that 15' section (see below).

~~*Campus* – may include a multi-structured educational facility or office complex.~~

~~*Height* – refers to vertical distance measured perpendicular to the ground surface.~~

*Human Scale* - The perceived size of a building relative to a human being. A building is considered to have "good human scale" if there is an expression of human activity or use that indicates the building's size. For example, traditionally sized doors, windows, and balconies are elements that respond to the size of the human body, so these elements in a building indicate a building's overall size.

*Modulation* - In the design guidelines, modulation is a stepping back or projecting forward of portions of a building face within specified intervals of building width and depth, as a means of breaking up the apparent bulk of a structure's continuous exterior walls.

*Pathways* – refer to any pedestrian route other than a *sidewalk*.

~~*Pedestrian-Oriented Façades* – are building façades that meet the Primary Pedestrian Façade guidelines in Chapter 3.~~

*Pedestrian-Oriented Spaces* – can be small to large widening of walking space, landscaped areas, areas for outdoor dining, or small play areas (see guidelines and requirements for *Pedestrian-Oriented Spaces* in Chapter 3).

*Sidewalks* - refer to concrete pedestrian routes adjacent to public right-of-ways.

*Weather Protection* – architectural features such as an awning, marquee, or canopy that protect pedestrians from rain and sunlight.

**ORDINANCE NO. XXX/2012**

AN ORDINANCE OF THE CITY OF MONROE, WASHINGTON, AMENDING THE NORTH KELSEY DESIGN GUIDELINES CONTAINED WITHIN THE NORTH KELSEY DEVELOPMENT PLAN TO REFLECT CURRENT AND ANTICIPATED DEVELOPMENT ACTIVITY, PROVIDING FOR SEVERABILITY; AND FIXING A TIME WHEN THE SAME SHALL BECOME EFFECTIVE.

WHEREAS, on August 6, 2003, the Monroe City Council adopted Ordinance No. 015/2003, an ordinance adopting the North Kelsey Development Plan including the North Kelsey Design Guidelines into the City of Monroe Comprehensive Plan; and

WHEREAS, on October 18, 2011, the Monroe City Council adopted Ordinance No. 026/2011, which amended Chapter 18.10 of the Monroe Municipal Code to require compliance with the North Kelsey Design Guidelines for all development within the North Kelsey Planning Area.; and

WHEREAS, on July 10, 2012, the Monroe City Council adopted Ordinance No. 017/2012, which amended Ordinances 15/2003 and 036/2008 to remove incorporation into the Land Use Element of the Comprehensive Plan and the adoption by reference of the North Kelsey Development Plan.; and

WHEREAS, the nation-wide economic downturn beginning in 2008 has compromised the viability and feasibility of the North Kelsey Development Plan as envisioned in 2003; and

WHEREAS, the Planning Commission held a public workshop on September 24, 2012, and a public hearing on October 15, 2012 and recommended [to be completed when recommendation is made] of the proposed amendments to the North Kelsey Design Guidelines; and

WHEREAS, on October 10, 2012, the proposed development regulation amendments were submitted to the Washington State Department of Commerce for state agency for review; and

WHEREAS, on October 19, 2012, a State Environmental Protection Act Determination of Non-significance was issued;

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF MONROE, WASHINGTON, DO ORDAIN AS FOLLOWS:

Section 1. the Monroe City Council adopts the Findings and Conclusions contained in the staff report attached as Exhibit A and incorporated by this reference as if set forth in full

Section 2. The North Kelsey Design Guidelines, referenced by MMC 18.10.135(B) are hereby replaced with the document attached as Exhibit B and incorporated by this reference as if set forth in full

Section 3. Severability. If any section, sentence, clause or phrase of this ordinance should be held to be invalid or unconstitutional by a court of competent jurisdiction, such invalidity or unconstitutionality shall not affect the validity or constitutionality of any other section, sentence, clause or phrase of this ordinance.

Section 4. Effective Date. This ordinance shall be in full force and effect five (5) days from and after its passage and approval and publication as required by law.

PASSED by the City Council and APPROVED by the Mayor of the City of Monroe, at a regular meeting held this 13th day of November, 2012.

1<sup>st</sup> Reading: 10/23/2012  
2<sup>nd</sup> Reading: 11/13/2012  
Published: 11/20/2012  
Effective: 11/25/2012

CITY OF MONROE, WASHINGTON:

\_\_\_\_\_  
Robert G. Zimmerman, Mayor

ATTEST/AUTHENTICATED:

APPROVED AS TO FORM:

\_\_\_\_\_  
Eadye Martinson, Deputy City Clerk

\_\_\_\_\_  
J. Zachary Lell, City Attorney

## **EXHIBIT A Findings and Conclusions**

### **North Kelsey Development Plan Design Guidelines Update City of Monroe ZCA2012-07 October 2012**

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The North Kelsey Development Plan Design Guidelines Update is analyzed under the procedures and criteria outlined below.

#### **FINDINGS**

##### **Consistency with the City of Monroe 2005-2025 Comprehensive Plan**

This proposed amendment is supported by existing goals and policies as listed below.

##### *Land Use Goals*

LUG1 - To pursue well-managed, orderly expansion of the City and actively influence the character of the City by managing land use change and by developing City regulations, facilities and services in a manner that directs and controls land use patterns and intensities.

LUG3 - Accommodate the city's expected growth in a way that enhances its character, quality of life and economic vitality.

LUG3 - Develop the North Kelsey Area into a vibrant, mixed use development that will provide a visible and accessible commercial center.

LUG8 - Provide for increased commercial development in the Monroe area that will enhance the character of major traffic corridors, downtown Monroe, and provide opportunities for neighborhood convenience shopping facilities within primarily residential areas.

LUP9 - Encourage commercial development designs that allow economically feasible development while at the same time providing attractive focal points in the community.

##### *Economic Development Goals*

EDG1 - Promote a strong, diversified, and sustainable local and regional economy, respecting the natural environment and preserving or enhancing the quality of life in the community.

EDG2 - Encourage economic development activities which take into consideration the capacities of the area's natural resources, public services, and facilities.

EDG3 - Promote the incorporation of transit, bicycle and pedestrian access in design of business, commercial and industrial developments.

EDG5 - Encourage and promote the development or enhancement of retail areas to achieve a vibrant shopping, dining and/or entertaining experience in the central business district.

**2. Consistency with Chapter 20.04 MMC (SEPA)**

An environmental checklist and supplemental non-project review sheet for environmental review was submitted on September 21, 2012. The SEPA Official issued a Determination of Non-significance on October 19, 2012. The comment/appeal period will expire on November 9, 2012.

To date, the city has not received any comments or appeals.

**3. Consistency with Chapter 36.70A (Growth Management Act)**

The proposal addresses the following Planning Goals listed in RCW 36.70A.020:

- Urban Growth
- Reduce Sprawl
- Transportation
- Economic Development
- Property Rights
- Environment
- Citizen Participation
- Public Facilities and Services

Staff requested Expedited Review of the proposed amendment from the Department of Commerce on October 10, 2012 and received a Letter of Acknowledgement on October 11, 2012. To date, staff has received no agency comments.

**4. Public Notice**

The city has provided notice through the City's webpage, posting at City Hall, and publication of hearing notices in the Monroe Monitor.

**CONCLUSIONS**

The proposed amendment is in keeping with the goals and policies of the Comprehensive Plan; is consistent with Chapter 20.04 MMC and Chapter 197-11 WAC; and has met Growth Management Act and noticing requirements.

**EXHIBIT ‘B’**

Revised October 18, 2012

**North Kelsey Development Plan  
Design Guidelines Update 2012**

**APPENDIX 1:  
Design Guidelines**

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*Approved Ord. 008/2003  
Amended Ord. 024/2007*

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# CHAPTER 1:

## Introduction

---

### A. Purpose

These design guidelines are a critical regulatory tool in implementing the design-related goals and objectives for the North Kelsey Planning Area and the North Kelsey Planned Development Area.

### B. Intent

These guidelines are directed to creating a development within the North Kelsey planning area that:

- Provides a visible and accessible commercial district for the City of Monroe.
- Enhances downtown circulation for pedestrians and vehicles.
- Connects and integrates other downtown activities.
- Accommodates retail, office, and service development of various sizes and character as is appropriate for Monroe's small town character with design quality of the highest caliber.
- Enhances the town's identity as a regional attraction.

### C. Application of Design Guidelines

The design guidelines apply to all new construction in the North Kelsey Planning Area (Figure 1). The sole exception to the guidelines involves interior remodels. The guidelines are intended to supplement other requirements in the Monroe Municipal Code. Where the guidelines and zoning ordinance standards conflict, the City shall determine which regulation applies.

All properties that are outside the development area, but within the North Kelsey Planning Area are subject to Chapters 5 through 7 of these Design Guidelines. This includes the privately owned parcels within the outlined area.

The specific planned development area is comprised of properties west of Chain Lake Road, north of Tjerne Road, and along North Kelsey Street.

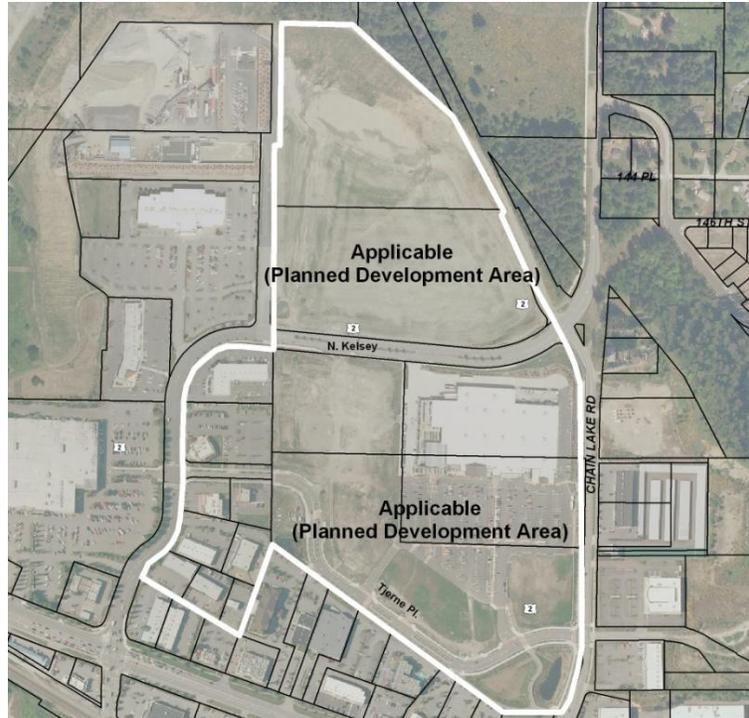


Figure 1: Applicable Properties.

#### D. Interpreting the Design Guidelines

The City retains full authority to determine whether or not a proposal meets these guidelines. Within the guidelines, certain words are used to indicate the relative importance and priority the City places upon the particular guideline. The words “shall,” “must,” and “is/are required” mean that the development proposal must comply with the guideline unless the City finds that:

- The guideline or requirement is not applicable or appropriate in the particular instance, or;
- The development proposal meets the intent of the guidelines in some other manner.

The words “is/are encouraged” mean that the action or characteristic is allowed and should be viewed as a positive element in the City’s review.

The project proponent may submit proposals that he/she feels meet the intent of the guidelines but not necessarily the specifics of one or more guidelines. In this case, the City will determine if the intent of the guideline has been met.

#### E. Review Process

The Design Guidelines will be used, along with other City ordinances and regulations, for the City’s review of development proposals within the North Kelsey Development Area.

# CHAPTER 2: Site Configuration

The development must address the following principles: The proposal shall indicate how the development will connect to adjacent properties/parcels. The means of pedestrian and vehicular circulation, as well as building and entry orientation, must be as approved by the City in accordance with the Design Guidelines as applied to the entire area of applicability as stated in Chapter 1C.

1. Connects the following activities with an integrated pedestrian network:

- Southeast: Chain Lake Road sidewalk.
- North: North Kelsey Street.
- West: North Kelsey Street near the entry to the Fred Meyer store.
- South: Current and future development along Tjerne Place.

Gateway features and safe walking connections must be provided at these points.

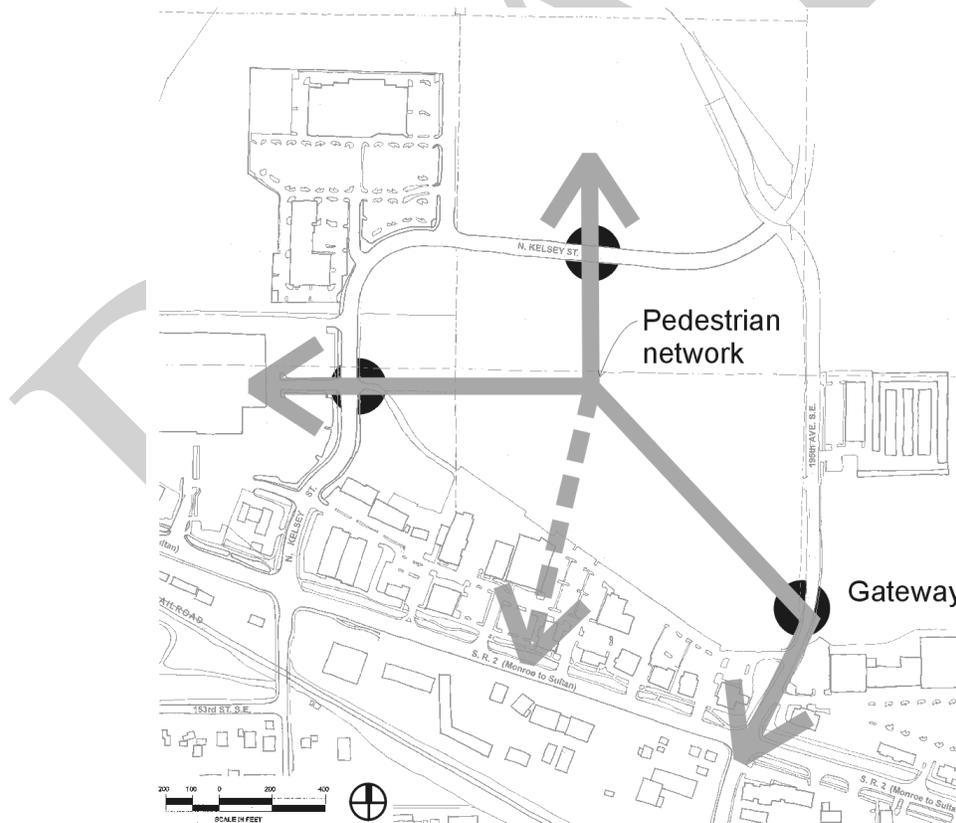


Figure 2: Key pedestrian connections.

2. Locates and treats large buildings to reduce their perceived scale to fit with neighboring structures and present an inviting, human scaled, pedestrian oriented character to the public. (See Architectural/Building Design guidelines, Chapter 5.)
3. Includes Tjerne Road to connect North Kelsey Street and Chain Lake Road, creating a loop system around the south parcel. Parking for future development should be accessed from this loop system (See Parking Area guidelines in Chapter 3 and Circulation Guidelines, Chapter 4). Opportunities for sharing access and parking between current and future uses, including the theater complex, should be explored.

**The project proponent must demonstrate that the overall site layout and circulation system accomplishes these goals to the City's satisfaction.**

# CHAPTER 3:

## Site Planning

---

### A. Public Open Space

#### Intent:

- Provide an attractive pedestrian environment.
- Provide outdoor spaces with pedestrian amenities.  
Pedestrian-Areas

#### Guidelines:

1. Pedestrian-areas are encouraged along the pedestrian connections and near key building entries. They can be small to large widening of walking space, landscaped areas, areas for outdoor dining, or small play areas.
2. Pedestrian amenities shall be provided such as seating, plants, drinking fountains, distinctive paving, artwork, and such focal points as sculpture or water feature, should be provided.
3. Lighting fixtures should be approximately 10-15 feet above the surface and may be building mounted. The overall lighting in pedestrian areas should be at least 2 foot-candles, without any “dark spots” that could cause security problems. Ambient light from under canopies or storefronts may be included in the lighting calculations.
4. The spaces must have visual and pedestrian access (including barrier-free access) to abutting structures and public streets or pathways.
5. Landscaping that does not act as a visual barrier is encouraged
6. Buildings abutting pedestrian-oriented space must have pedestrian-oriented facades (see Building Orientation guidelines below).
7. See Chapter 6 Landscape Design for applicable landscaping guidelines.

### B. Building Orientation

#### Intent:

- Provide an attractive pedestrian environment.
- Enhance the character of the streetscapes within and surrounding the area.
- Provide attractive building facades adjacent to parking lots.

## **General:**

Buildings and ground floor businesses fronting pedestrian areas should be oriented towards these areas. Since these and other buildings also front onto parking lots or streets, buildings and businesses are strongly encouraged to provide secondary building entrances. These are referred to as “Secondary Pedestrian Facades.” Side and rear walls of new buildings in the planning area will also be visible and therefore must be designed and/or screened to provide an attractive streetscape. These are referred to as “Side or Rear Facades.” Locations, guidelines and standards for, Secondary Pedestrian Facades, and Side or Rear Facades are detailed below.

### **1. Secondary Pedestrian Façade:**

- a. Where: Building facades adjacent to parking lots, pedestrian pathways, or streets, as designated by the City.
- b. Weather protection over the building entry and covering at least 50 percent of the overall façade is required.
- c. Storefront windows over at least 50 percent of the facades on the ground floor between the heights of 2 to 8 feet above the ground are required.
- d. Building entries along secondary pedestrian facades should utilize pedestrian-oriented lighting and/or decorative façade details. (See Building Elements and Details, Chapter 5.
- e. Blank walls must be treated in one or more of the following ways:
  - Planters or trellises with vines.
  - Landscaping that covers 30 percent of wall area within three years of planting.
  - Special materials (e.g., decorative patterned masonry).
  - Display windows.
  - Other treatment approved by the City.

### **2. Side and Rear Facades:**

- a. Building facades building/business entries, or highly visible locations.
- b. What: While pedestrian building/business entries are not required here, they may be encouraged depending on specific site characteristics. Service elements may be located here (see Building Equipment and Service Area guidelines, Chapter 5). Facades shall be treated in two or more of the following ways (Figure 4):
  - Planters or trellises with vines.
  - Landscaping that covers 30 percent of wall area within three years of planting.
  - Special materials (e.g., decorative patterned masonry).
  - Display windows.
  - Other treatment approved by the City.

- c. Designated side and rear facades located along public streets should be set back at least 20 feet from the sidewalk to accommodate stormwater treatment methods and heavy landscaping.
- d. Visible building façades should be articulated per “Vertical Articulation” guidelines in Chapter 5 under Human/Pedestrian Scale.
- e. Creative use of building materials such as concrete and concrete masonry units is encouraged.

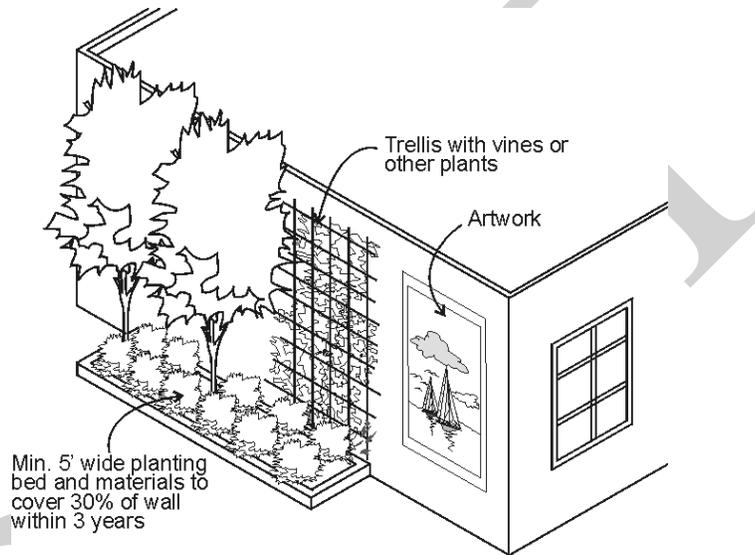


Figure 3: Blank wall treatments.

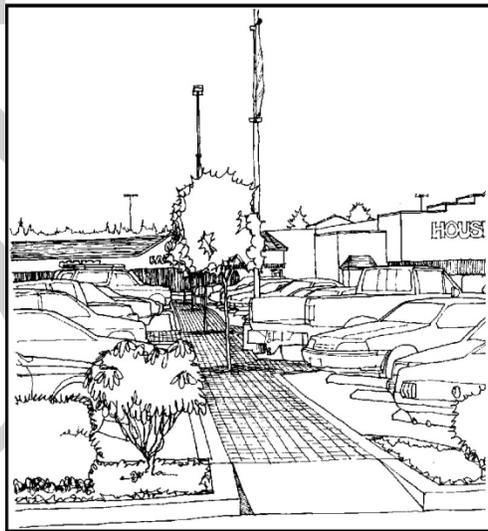
### C. Parking Areas

#### Intent:

- To provide convenient parking areas that encourage people to leave their cars and walk throughout the North Kelsey Planning Area.
- To provide more flexibility in the design of the development by relaxing existing City parking standards.
- To provide parking areas that do not diminish pedestrian and visual qualities of the site.
- To maintain the built street edge through effective screening of all parking lots.
- To minimize the impacts of driveways.

**Guidelines:**

1. Parking areas shall conform to the requirement of MMC, Chapter 18.86 unless otherwise noted in these guidelines. This encompasses dimensional requirements, design, access, loading areas, number of parking spaces, parking area landscaping, and other parking-related requirements.
2. Parking requirements for retail uses shall be relaxed to 1 space per 250 square feet of gross floor area. The City may consider special provisions for joint use of parking when two activities are less likely to occur simultaneously (e.g. office uses and entertainment facilities).
3. The landscaped buffer between the sidewalk and the parking area along Chain Lake Road must be expanded to at least 10 feet in width using either Type II or Type III Landscaping standards (MMC, Section 18.78.030) subject to City approval.
4. Pathways through parking lots should be provided. Pathways and crosswalks should be provided along every fourth parking isle or at intervals of less than 150 feet (See Figure 5). Pathways through parking areas should be separated from vehicle parking and travel lanes by use of contrasting surface materials, which may be raised above the level of the vehicular surface. Parking area pathways should be at least 4 feet in width.



*Figure 4: Parking pathway example.*

5. Structured parking is encouraged provided the building meets the guidelines of Chapter 5.

#### D. Street Corners/Highly Visible Locations

##### **Intent:**

- To enhance the appearance of highly visible locations.
- To enhance the pedestrian environment.
- To establish a design identity for the North Kelsey Planning Area.

##### **Guidelines:**

The guidelines below highlight desirable design treatments (options noted below) for six specific street corners and/or highly visible locations. All proposals for sites should include at least one of the design treatments described below. **EXCEPTION:** Applicants may propose other design treatments for these sites if they can demonstrate successfully that the proposed treatment meets the intent of the guidelines.

1. Street Corner/Highly Visible Location Design Treatment Methods (also refer to Pedestrian Orientation guidelines, Chapter 3):
  - a. Locate a building towards the street corner (within 15 feet of corner property line). Building facades located here are encouraged to include a special element, such as a raised roofline, towers, or an extended parapet, along the most visible views of the structure (See Figure 6).
  - b. Provide a pedestrian walkway and/or plaza space at the corner leading directly to a building entry or shopping plaza space. May be appropriate in conjunction with a Monument Site Entry Sign.
  - c. Install substantial landscaping (at least 200 square feet of ground surface area with trees, shrubs, and or ground cover. May be appropriate in conjunction with a Monument Site Entry Sign.



d.

*Figure 5: Street corner example: This building celebrates its corner location by including a corner entry, pedestrian space, weather protection, parapet, and special signage.*

2. Specific Sites (See Figure 7):

- a. SR-2/Chain Lake Road (northwest corner): Method “c” is the first preference. High priority site for a Monument Site Entry Sign.
- b. Chain Lake Road/Tjerne Place (both westerly corners): Method “a” or “b” is preferred for the northwest corner; Method “a” is preferred for the southwest corner, with Method “c” as a second preference.
- c. Chain Lake Road/North Kelsey Street (both westerly corners): Method “c” is preferred for both the northwest and southwest corners. High priority site for a Monument Site Entry Sign (see Signage guidelines, Chapter 7).
- d. North Kelsey Street (at key pedestrian crossing): Method “a” is preferred for all four corners.
- e. North Kelsey Street/Tjerne Place (easterly corners): Method “a” is the preferred treatment of both corners; Methods “b” and “c” are acceptable.

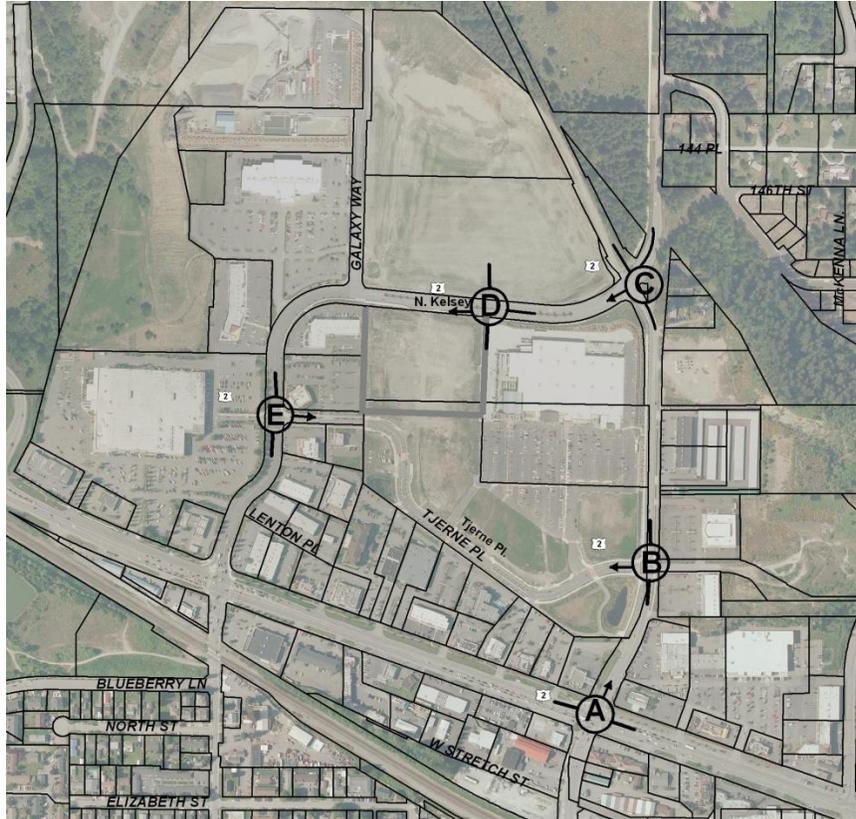


Figure 6: Highly visible locations.

# CHAPTER 4:

## Circulation

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### A. Sidewalks and Pathways

*NOTE: Sidewalks refer to concrete pedestrian routes adjacent to public rights-of-way. Pathways refer to all other pedestrian routes.*

#### **Intent:**

- Provide a safe environment for pedestrians to move throughout the North Kelsey planning area and separation of pedestrian and vehicular traffic.
- Create a varied and rich environment to encourage people to explore the area on foot.

#### **Guidelines:**

1. All public open spaces, walkways, and sidewalks shall meet ADA standards.
2. Sidewalks should be separated from the roadway by planting strips with street trees wherever possible. Planting strips should generally be at least 5 feet in width and include evergreen shrubs no more than 4 feet in height and/or ground cover in accordance with the City of Monroe Landscape Standards (MMC Chapter 18.78), and canopy-type broadleaf trees placed an average of 25 feet on center. **EXCEPTIONS:** Where space is limited, planting strips less than 5 feet in width may be permitted by the City; Street trees placed in tree grates may be more desirable than planting strips in key pedestrian areas.
3. Acceptable sidewalk widths may range from 4 to 12 feet depending on adjacent uses and anticipated pedestrian activity. Sidewalks along major connector routes such as North Kelsey Street or Chain Lake Road should be at least 8 feet in width to accommodate two couples passing each other.
4. Pedestrian crosswalks shall be provided at all intersections. These shall be indicated with distinctive paving.
5. The addition of texture to the ground plane of key sidewalks and pathways with unit pavers, bricks, tiles, or public artwork is encouraged.
6. Pathways that provide key access to other key sites are termed “Primary Pathways.” Primary pathway surfaces should be at least 15 feet in width to accommodate fire apparatus access and groups of people.

7. Other pathways are termed “Secondary Pathways.” Secondary Pathways may vary in width according to intended function and expected use (subject to City approval). Where secondary pathways are located within corridors between structures, such corridors should be at least 12 feet in width.
8. Pedestrian amenities, including landscaping and seasonal flowers, benches, lighting, and/or artwork, shall be provided along Secondary Pathways to create visual interest (see Landscaping guidelines in Chapter 6).
9. Safe pathways to all uses and buildings and around and through parking areas are required (see Parking Area guidelines, Chapter 3).

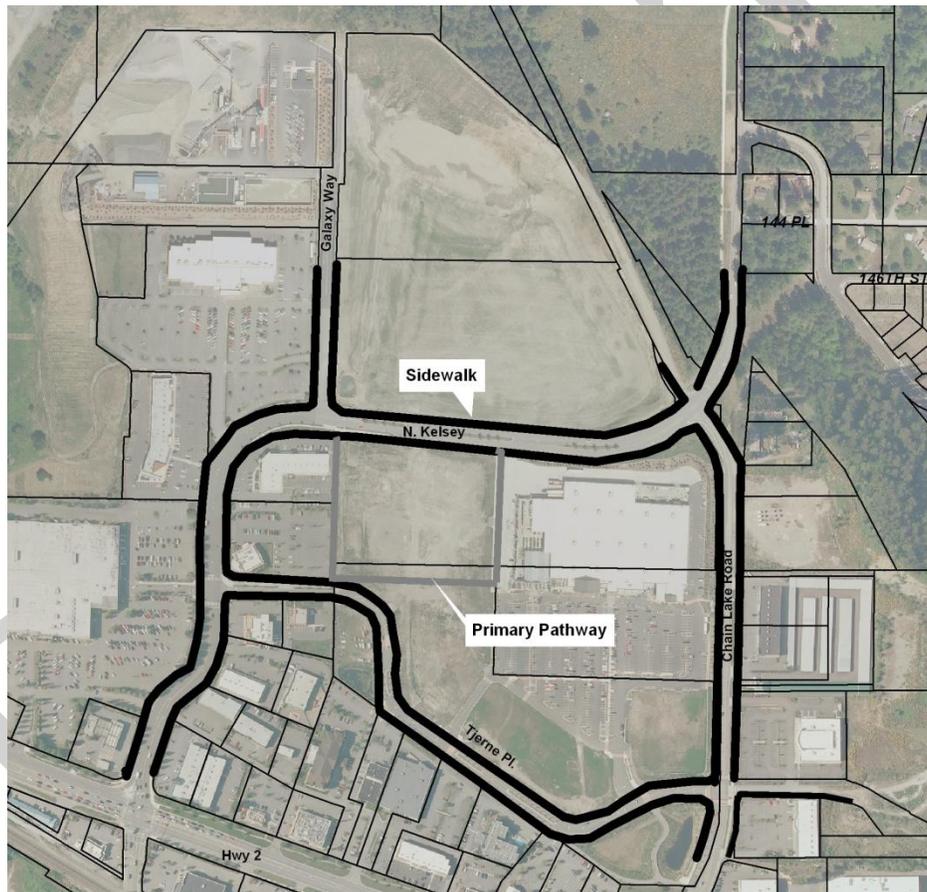


Figure 7: Example pedestrian network for the North Kelsey Planned Development Area.

## B. Bicycle Circulation and Amenities

### Intent:

- Provide safe and efficient bicycle access to and within the North Kelsey Planning Area.
- Promote bicycling as an alternative method of transportation.

## Guidelines:

1. Safe bicycle access should be provided within each public right-of-way developed within the North Kelsey planning area. The City will consider the following options:
  - a. Bike Lanes. Standard bike lanes are 5 feet in width. This is the preferred option for Chain Lake Road (where there is sufficient right-of-way width) since bicycle lanes would connect with planned bicycle lanes north of the site.
  - b. Wide Curb Lanes. This involves 14-foot travel lanes rather than the standard 11- or 12-foot lanes so cyclists can safely share the road with vehicles. Although such wide curb lanes are often striped, they are not signed or officially designated as bike lanes. With limited space, this is often the most effective way to provide safe bicycle access.
  - c. Multi-Use Pathway. This combines bicycle and pedestrian access on an asphalt pathway separated from the roadway. Ideally, such a multi-purpose pathway should be 12 to 14 feet in width. Where space and use are expected to be limited, an 8-foot wide pathway (with center striping) may be acceptable. Pathway design should ensure adequate site distance.
2. Special care should be exercised on how either of these bicycle facilities transition to existing and planned off-site roadways – particularly Chain Lake Road and North Kelsey Street towards SR-2. Where necessary, provide signage to note safest bicycle access routes.

# CHAPTER 5:

## Architectural/Building Design

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### A. Architectural Concept

#### Intent:

- Create, through the architectural, landscape, open space, and gateway elements, an identity that reflects Monroe’s vernacular architectural character.
- Provide a high-quality image with well-designed and detailed buildings, minimization of corporate identity elements (stock buildings and signs), and an emphasis on subtlety and refinement rather than on flashy or trendy design themes.
- Create varied, non-homogenous buildings within the planned development area that give the sense of natural evolution over time rather than a result of a single, one-step development—and to emphasize the fact that the building elements can naturally evolve and change over time.

#### Guidelines:

1. The buildings proposed for the North Kelsey development area should be based on a comprehensive architectural concept that achieves the intent statements above. Specifically, the design of the specific buildings should address:
  - Pedestrian interest, comfort and connections throughout the area.
  - Building size and massing elements at human scale.
  - Perceived massing of the building relative to nearby structures, pedestrian areas, and landscape elements.
  - Monroe’s architectural and cultural setting.
  - The variety of sequential experiences and design characters within the site.

While the individual design guidelines in this section address some of these issues specifically, the intent of this guideline is to encourage the designers to consider how the various aspects of the design work together. Applicants should be prepared to demonstrate how the proposed buildings respond to the intent statements. The City will review applicants’ proposals and determine whether or not they meet the intent.

### B. Human/Pedestrian Scale

#### Intent:

- Create a development with human scaled appearance and informal architectural character.

- To architecturally address large buildings to ensure that they do not dominate.
- Provide interesting and sheltering pedestrian-oriented facades.

## Guidelines

1. **Building Height:** Commercial/office buildings should be 1 to 3 stories high, with a maximum height of 35 feet. The City will consider higher building heights if the applicant can demonstrate consistency with overall design guidelines intent. Special features such as towers or clerestories may be taller, if approved by the City.

Sunlight should be considered within the planned development area with regard to the height of buildings adjacent to. Generally, buildings on the south side of these spaces should be sized to allow direct year-round sunlight on south-facing structures.

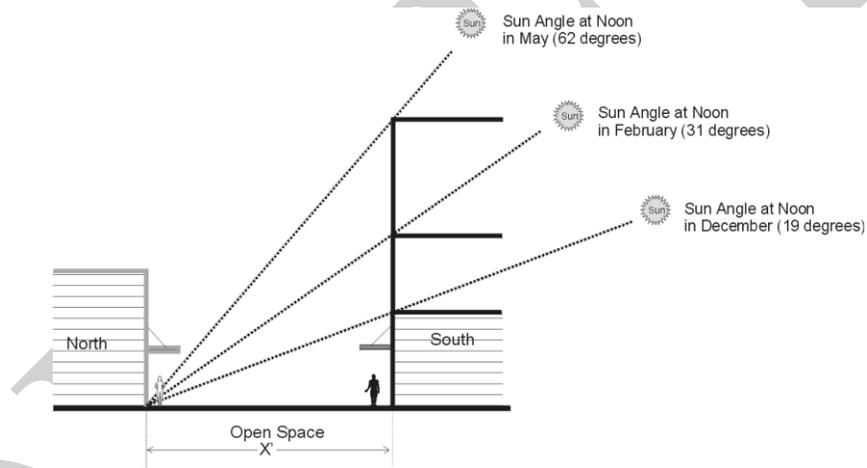


Figure 8: Sunlight should be considered in the height and design of structures adjacent to major spaces.

2. **Vertical Articulation:** In order to prevent long stretches of monotonous façade, buildings with visible facades over 100 feet in length as measured parallel to a roadway, parking area, pedestrian connection, or pedestrian area should be vertically articulated into sections averaging not more than 50 feet along the façade at regular intervals. Articulation may be accomplished in several ways, including:
  - Modulation—the stepping back or projection of a portion of the façade.
  - Including significant building elements such as balconies, porches, canopies, towers, or entry areas that visually break up the façade.
  - Building focal points that include, for example, distinctive entry features.
  - Changing the roofline.
  - Changing materials.

- Landscaping.
- Using other methods acceptable to the City.

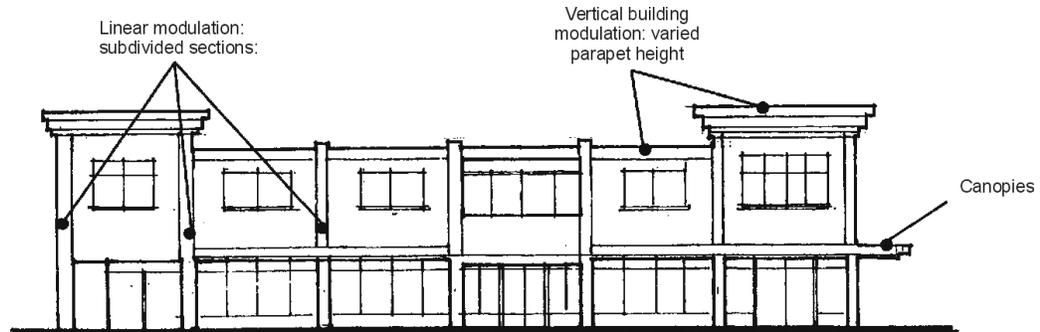


Figure 9: Building articulation: Varied parapet and recessed entries.

### C. Architectural Elements

#### Intent:

- Create an intimately scaled, pedestrian friendly and informal architectural character.
- Reflect Monroe’s vernacular architectural character (excluding the post-War highway strip development).
- Enhance the quality of both individual buildings and the North Kelsey Planning Area streetscape as a whole.
- Encourage use of quality building materials with a low life cycle cost.
- Create design unity, a sense of place, and community identity.
- Reduce the visibility of unsightly service and utility elements from view while providing efficient service and equipment areas.

#### 1. Roofs

#### Guidelines:

1. Roof designs should provide scale-reducing elements within the North Kelsey planned development area. It is recommended that buildings have a variety of roof slopes, details, materials, and configurations.
2. All flat roofs shall be architecturally treated or articulated with a parapet wall combined with ornamental molding, entablature, frieze, cornice, or other architectural roofline detail visible from the ground level. Parapets and articulated cornice lines should not appear as applied elements.
3. Roof-mounted mechanical equipment (HVAC) must be screened from view.

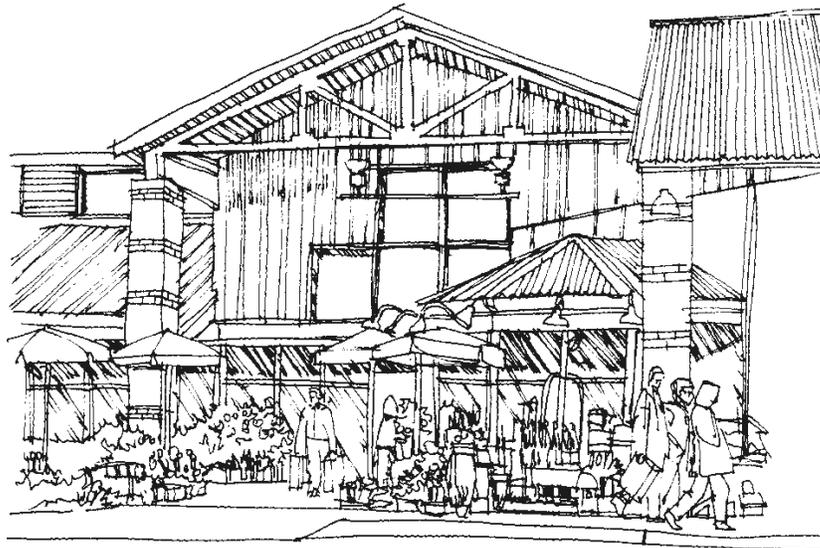


Figure 10: The gabled roof over the building entry together with pedestrian-scaled elements and a variety of building materials provides visual interest to this largely square, flat-roofed building.

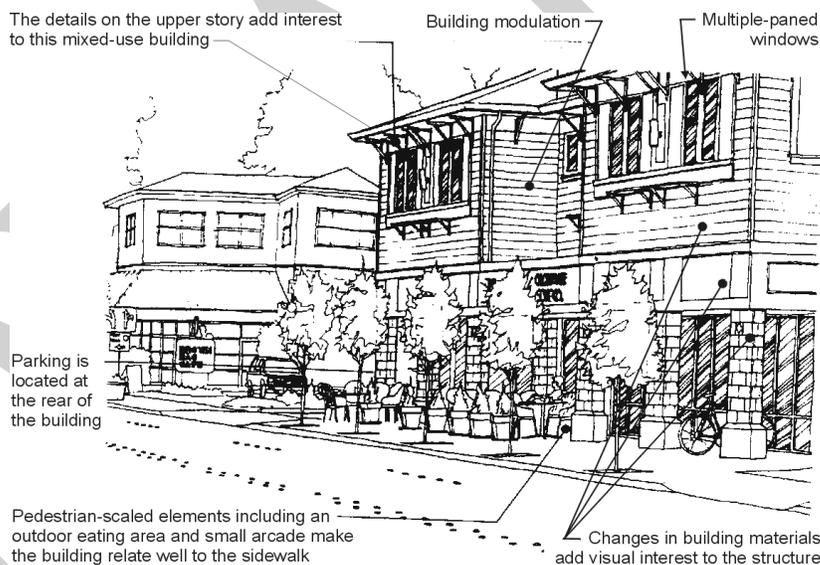


Figure 11: Examples of building details.

## 2. Building Elements and Details

### Guideline:

1. All building facades shall incorporate a substantive use of building elements, such as those from the list that follows, as approved by the City. “Substantive” in this case means a significant contribution to the form and character of the building. Note that “decorative” means that the feature exhibits special craftsmanship or

distinctive design that adds visual interest and/or unique character. Suggested building elements include:

- Articulated building elements through treatment of windows, doors, entries, and corners with special trim, molding, or glazing.
  - Permanent pedestrian weather protection (building canopy).
  - Decorative building materials, such as tile and metal work.
  - Enhanced or articulated building entrances (recessed or covered).
  - Pergolas, arcades, porches, decks, or bay windows.
  - Balconies in upper stories.
  - Address numbers legible to the public from the street or pathway fronting the property or building.
  - Multiple-paned window fenestration (windows with several panes separated by mullions).
  - Windows. All windows should either have a vertical orientation (e.g., be longer in the vertical dimension than in the width) or be square in order to qualify as special elements.
3. Exterior Materials

**Guidelines:**

1. Use durable and high-quality materials. Shiny or highly reflective materials are not allowed. Materials should be those of typical use in the Northwest, including:
  - Bevel or lap siding.
  - Rock, stone, and brick material.
  - Architectural shake-style roofing.
  - Metal roofs with standing seams.
2. If sheet materials, such as composite fiber products or metal siding, are used as a siding material over more than 25 percent of a building's façade, use material with a matted finish in a muted color as specified in Color guidelines below. Include the following elements:
  - Visible window and door trim painted or finished in a complementary color.
  - Corner and edge trim that covers exposed edges of the siding material.
3. If concrete blocks (concrete masonry units or "cinder blocks") are used for walls that are visible from a public street or park, use one or more of the following architectural treatments:
  - Use of textured blocks with surfaces such as split-face or grooved.
  - Use of colored mortar.
  - Use of other masonry types, such as brick, glass block, or tile, in conjunction with concrete blocks.
  - Other treatment methods approved by the City.

- The applicant shall provide the City with samples of the material, proposed detail connections and a list of other project examples in the Puget Sound region that have used this application.
4. Do not use the following materials in visible locations unless an exception is granted by the City:
    - Mirrored glass.
    - Corrugated fiberglass.
    - Chain-link fencing (with or without slats).
    - Synthetic materials with reflective surfaces, including galvanized steel and glossy vinyl siding.
    - Other treatment methods approved by the City.
  5. Paint all vents, gutters, downspouts, flashing, and electrical conduits to match the color of the adjacent surface unless they are being used expressly as a trim or accent element, or if the surface is made of an unpainted material such as brick.
  6. Provide approved address numbers so that they are legible to the public from the street fronting the property.

4. Colors

**Guidelines:**

1. Submit a color palette.
  2. Muted colors are encouraged for the background color of most buildings. A darker background color will allow the effective use of lighter colors for trim – where the highlights will show up better.
  3. Bright colors should generally be reserved for accents. Doors or special features may be painted a bright accent color.
  4. Bright luminescent or day-glow colors are not allowed.
5. Building Equipment and Service Areas

**Guidelines:**

1. Building service elements and utility equipment should be contained within the building envelope, screened from public view, or on roofs where not visible to the public.
2. All on-site service areas, loading zones, outdoor storage areas (except outdoor retail sales areas under 100 square feet in occupied area), waste storage, disposal facilities, transformer and utility vaults, and similar activities shall be located in an area not visible from a public street, pedestrian connection, or open space. If this is not possible, then the service area, loading zone, storage area, or utility area must be screened from public view. Acceptable screening includes:
  - A masonry or wood enclosure incorporated into a building wall.

- A solid hedge or other screening as approved by the City.

(Note: Visible chain link fencing with or without slats is not permitted.)

3. Service or utility areas or enclosures shall not be located in or be visible from pedestrian areas.

DRAFT

# CHAPTER 6:

## Landscape Design

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### Intent:

- Achieve a high quality landscape that features a variety of plant materials.
- Utilize landscape materials to strengthen and unify the planning area's design identity.
- Select plant materials that are relatively hardy and require minimal maintenance.
- Add color, texture, and interest to the center.
- Screen high-impact uses.
  - A. Landscape Plan Concept

### Intent:

- Provide visual relief from large expanses of parking areas and integrate new construction into the natural environment.
- Provide some physical separation between vehicular and pedestrian traffic.
- Provide decorative landscaping as a focal setting for signs, special site elements, and/or pedestrian areas.
- Provide increased areas of permeable surfaces to allow for infiltration of surface water into groundwater resources, reduce the quantity of stormwater discharge, and improve the quality of stormwater discharge.

### Requirements:

1. Submit a landscape design plan and be prepared to demonstrate that the plan addresses the following considerations:
  - A unified pedestrian circulation system with amenities and plantings.
  - A coordinated system of open spaces and/or planted areas that provide the required pedestrian areas. The plan should indicate how the various spaces and plantings relate to the project's site design objectives of continuity, variety, activity, etc. The applicant should demonstrate that the landscaping treatment has a "concept" such as the example in Figure 28.
  - Screening of service or unsightly areas.
  - Plantings and/or site features that enhance the building's architectural qualities.
2. In addition, the design should consider the following landscape design objectives where appropriate:
  - Where feasible, coordinate the selection of plant material to provide a succession of blooms, seasonal color, and a variety of textures.

- Provide a transition in landscaping design between adjacent sites, within a site, and from native vegetation areas in order to achieve greater continuity.
- Design landscaping to create definition between public and private spaces.
- Design landscaping to provide a transition between built structures (vertical planes) and the site (horizontal planes).
- Use plantings to highlight significant site features and to define the function of the site, including parking, circulation, entries, and open space.

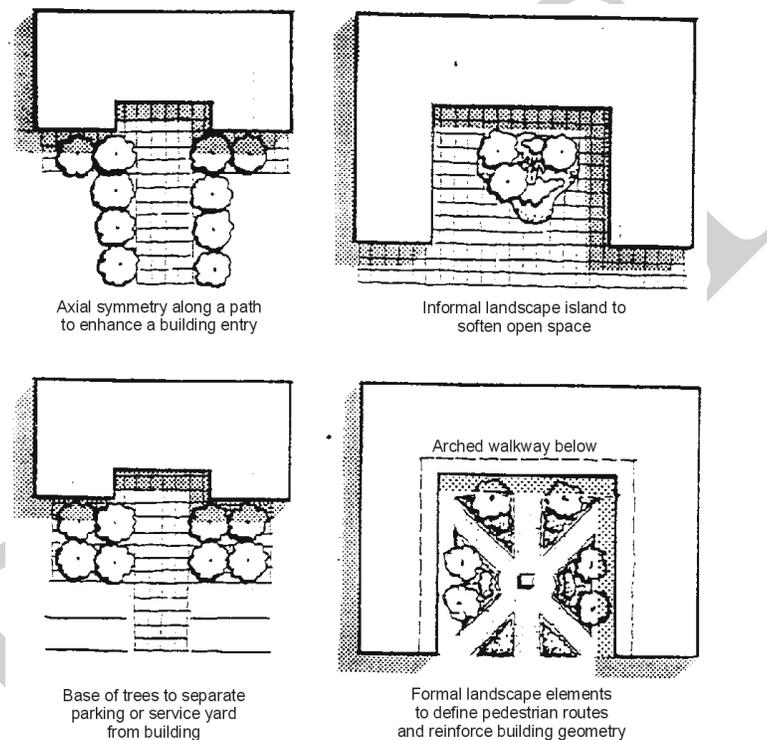


Figure 12: Examples of landscape designs associated with buildings.

## B. Street Landscaping

### Guidelines:

1. Sidewalks and pathways should be separated from the roadway by planting strips with street trees wherever possible.
2. Planting strips should generally be at least 5 feet in width (see Figure 8, Tjerne Place cross-section). They should include evergreen shrubs no more than 4 feet in height and/or ground cover in accordance with the City of Monroe Landscape Standards (MMC Chapter 18.78), and canopy-type broadleaf trees placed an average of 25 feet on center. EXCEPTIONS: Where space is limited, planting strips less than 5 feet in width may be permitted by the City.
3. Street trees placed in tree grates may be more desirable than planting strips in key pedestrian areas.

4. Use of trees and other plantings with special qualities (e.g., spring flowers and/or good fall color) are strongly encouraged to unify development in the North Kelsey planning area.
5. Also see Building Orientation guidelines in Chapter 3 and Parking Lot Screening below for areas within the planned development area.

C. Parking Lot Screening

**Guidelines:**

1. Provide a landscaped drainage/stormwater treatment buffer between the sidewalk/street and parking area where possible. Size the buffer as necessary to perform required stormwater treatment function for a minimum of 20 feet is suggested See Figure 8 Otherwise, a 5-foot wide landscaping buffer consistent with Type III landscaping as specified in MMC Chapter 18.78, to provide a see-through buffer between public streets and parking lots is required; **EXCEPTION:** The landscape buffer must be 10 feet between parking areas and sidewalks along Chain Lake Road.

D. Parking Lot Interior

**Guidelines:**

1. Type IV landscaping as specified in MMC Chapter 18.78, is required to provide shade and visual relief while maintaining clear site lines within parking areas.

E. Pedestrian Area Landscaping within the Planned Development Area

These guidelines involve all other pedestrian-oriented spaces and open spaces.

**Guidelines:**

1. A range of landscape materials—trees, evergreen shrubs, ground covers, and seasonal flowers—shall be provided for color and visual interest.
2. Planters or large pots with small shrubs and seasonal flowers may also be used to separate café seating from traffic flow and create protected areas within the plaza for sitting and people watching.
3. Creative use of plant materials, such as climbing vines or trellises, and use of sculpture groupings or similar treatments are also encouraged.
4. All landscaping shall be as approved by the City.
5. Sun angle at noon and wind pattern should be considered in the landscaping design of the plaza to maximize sunlight areas.

F. Screening High-Impact Uses

**Guidelines:**

1. High impact uses such as sand and gravel mining operations or manufacturing should be screened with a landscape berm.

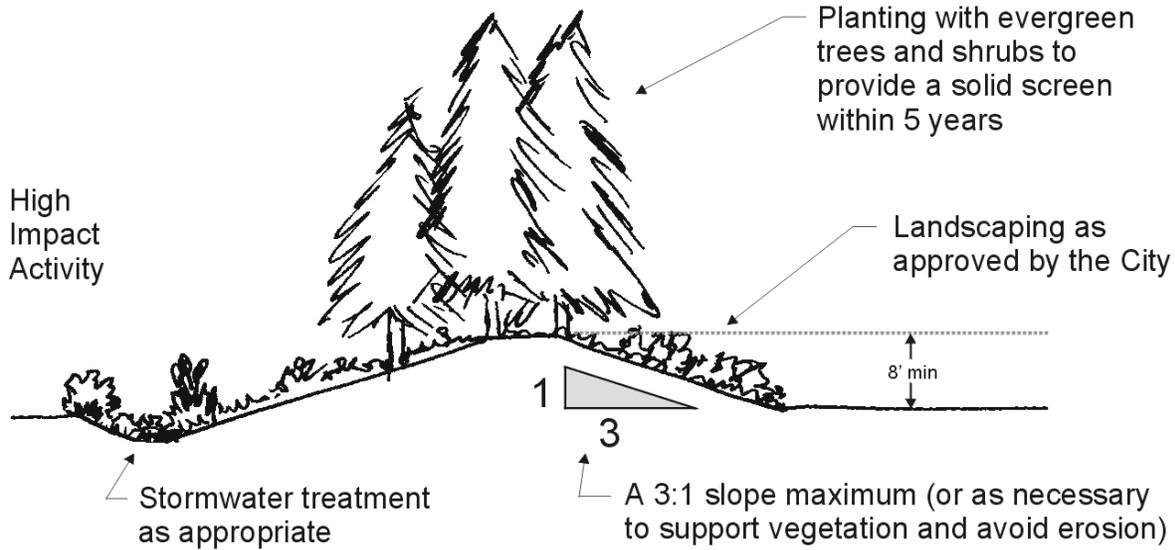


Figure 13: Screening high impact uses.

# CHAPTER 7:

## Signage and Lighting

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### A. Signs

#### Intent:

- To encourage signage that is both clear and of appropriate scale for the project.
- To enhance the visual qualities of signage through the use of complementary sizes, shapes, colors, and methods of illumination.
- To provide signage guidelines that meet commercial tenant needs.
- To provide a comprehensive sign program that creates consistent design criteria for the entire North Kelsey planning area.

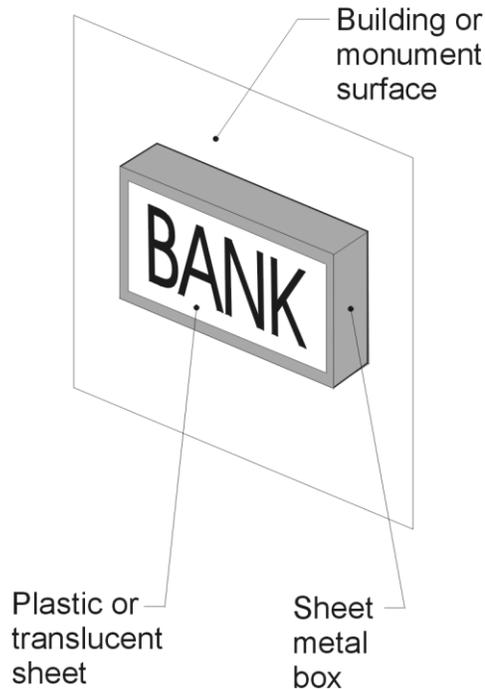
#### Guidelines:

##### 1. General Standards:

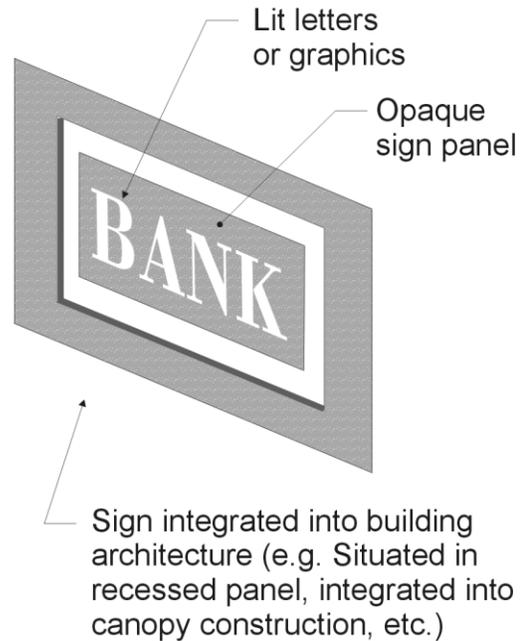
Types of signage fall into three categories: monument site entry signs, tenant signs (large and small), and public and directional signs.

- a. All signage must comply with the following guidelines:
  - Signage must be of high-quality design and materials, consistent with the design of the North Kelsey planning area.
  - Signs may be fabricated of mixed media, including metal reverse-illuminated letters, suspended neon letters, illuminate individual letters, or signs etched or cut out of solid material, such as wood or brass, and illuminated from behind.
  - Signage shall be consistent throughout the planned development area and always complement a building's character (e.g., walls signs should avoid covering building columns).
- b. Non-illuminated mixed-media, and other special mixed-media signs will be subject to approval by the City.
- c. Back-lit translucent awnings and/or awning signs are not permitted.
- d. Back-lit signs with letters or graphics on a plastic sheet (can signs) are not permitted. Generally, these signs are of low quality, easily broken, and not integrated into the building's architecture. However, back-lit letters or graphics that are part of a sign that is integrated into the building's architecture are permitted (see examples on the following pages).

**Typical “can signs”  
are not acceptable**



**Internally lit letters  
or graphics are acceptable**



*Figure 30: Appropriate and inappropriate signage.*

e. The following signs and sign elements are prohibited:

- Pole-mounted signs.
- Signs employing moving or flashing lights.
- Signs employing exposed electrical conduits.
- Visible ballast boxes or other equipment.
- Signs with luminous plastic letters.
- Audible or odor-producing signs.
- Cardboard signs.
- Roof-mounted and temporary-type signage, such as banners. (Note: Temporary signage for special occasions will be permitted, subject to City approval of both design and duration of display.)
- Off-premises signs, except public directional and site identification signs.

f. Cinemas and community centers may have changeable letter signage.

## 2. Public and Directional Signs:

### a. *Placement:*

- (1) Public and directional signs may include directional signage and street name markers, pedestrian trail markers, project tenant directories, kiosks, theme elements, and miscellaneous exterior site signage. The design of these elements typically shall share consistent design patterns and express character of the North Kelsey planning project.
- (2) Directional signage shall be required to direct traffic to public parking.
- (3) Pedestrian trail/routes shall be identified.
- (4) Public and directional signs of the North Kelsey planned development area shall be coordinated throughout the site. Information and directional signage design must integrate with the various design areas.

### b. *Maximum Size and Quantity Limitations:*

- (1) Parking lot signage for the planned development area shall be limited to one sign per entrance.
- (2) The size and areas of public directional signs shall be reviewed and approved by the City based on design quality, attractiveness and thematic, functional, and scale appropriateness.

## 3. Tenant Signs:

For purposes of these guidelines, ‘Tenants’ shall be considered those with less than 12,000 square feet of leasable area, and “Large Tenants” shall have a leasable area of 12,000 square feet and greater.

### a. *Placement:*

- (1) Wall signs for retail shops shall be located in the storefront area above door height and below the canopy (typically 8 feet above the floor). Wall signage located at building focal points is an exception to this guideline.

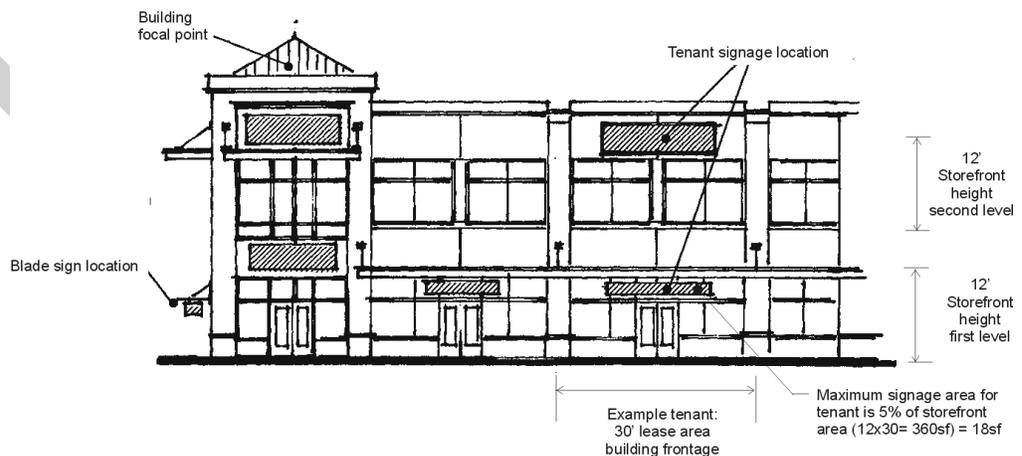


Figure 30: Sign design standards.

- (2) Signs shall be centered between architectural elements and between columns to allow building architecture to be expressed. Signs shall not necessarily be centered on leased premises.
- (3) Signs shall be compatible in scale and proportion with building design and other signs.
- (4) Blade signs, which hang from the canopy, arcade, or building front, may be utilized to increase visibility.
- (5) Upper-level tenants and large tenants may have signs located above the storefronts and below roof-line or cornices, subject to City approval, to accommodate signs visible from adjacent streets.
- (6) Service/secondary signage shall be allowed.
- (7) Signage within the planned development area shall be placed facing public plazas and/or streets. When tenants face two streets or a street and a plaza, signage is allowed on both facades. Each sign is calculated separately and shall conform to all applicable maximum area limitations. Calculated maximum areas are not transferable to other facades. Each tenant is allowed to place signage on no more than two facades.

b. *Size/Design:*

- (1) Office tenant signage maximum is 100 square feet. Approval shall be based on sign design quality, attractiveness, scale appropriateness, and compatibility with the building to which it is attached.
- (2) Letter height shall not exceed 18 inches. Larger first letters up to 24 inches will be permitted.
- (3) Length of the signs shall not be more than two-thirds of the overall leased façade area or less than 3 feet from the demising wall of the leased premises.
- (4) Wall-mounted signs shall not project more than 6 inches from the building.
- (5) Hanging blade signs shall not have an area of more than 3 square feet or exceed 2 inches in thickness. Blade sign area is not included in the signage area. The bottom of the sign should not be lower than 8 feet above ground.
- (6) Service/secondary signage maximum area is 2 square feet.

*Tenant Signage Requirements within the Planned Development Area:*

- Tenant signage calculations apply to tenants with *less* than 12,000 square feet of leasable area.
- Maximum signage area is calculated at 5 percent of storefront area.
- Maximum signage area shall not exceed 24 square feet in total area for any single storefront.
- Each street or plaza frontage is calculated separately.
- Maximum area calculation shall not transfer to other storefronts on other building elevations.

- “Storefront” refers to the first 12 feet above each tenant floor of lease area building frontage facing a street or plaza.

*Example: Storefront area dimensions: 12' x 30' = 360 SF.*

*Signage allowed: 360 SF x 5% = 18 SF*

Large tenant signage requirements:

- Tenant signage calculations apply to tenants with *more* than 12,000 square feet of leasable area.
- Maximum signage area is calculated at 5 percent of storefront area.
- Maximum signage area shall not exceed 200 square feet in total area for any single storefront.
- Each street or plaza frontage is calculated separately.
- Maximum area calculation shall not transfer to other storefronts on other building elevations.
- “Storefront” refers to the first 12 feet above each tenant floor of lease area building frontage facing a street or plaza.

*Example: Storefront area dimensions: 12' x 90' x 2 floors = 2,160 SF.*

*Signage allowed: 2,160 SF x 5% = 108 SF*

4. Monument Site Entry Signs for the Planned Development Area:

a. *Placement and Design:*

- (1) Monument Site Entry Signs may be located at major entries connecting to SR-2 and other streets connecting to the planned development area (also see Street Corners/Highly Visible Locations, Chapter 3).
- (2) Signs shall be designed to integrate with adjacent site landscaping.
- (3) Entry signs shall be unified by common design and graphic elements. It is encouraged that monument entry signs share design elements with the public and directional signs throughout the site.
- (4) Entry signs shall identify the North Kelsey planned development. No individual tenant names shall be identified.

b. *Maximum Size and Quantity Limitations:*

- (1) The maximum height and width shall be as approved by the City, with proposals reviewed for scale, design quality, attractiveness, and functional appropriateness for the North Kelsey planning area.

B. Lighting

**Intent:**

- To provide adequate lighting to ensure safety and security.

- To enhance and encourage evening activities.
- To provide a distinctive character to the area.

**Standards:**

1. Sidewalks must average between 1 and 2 foot-candles. Primary Pathways must average between 2 and 4 foot-candles. The Focal Plaza, Shopping Corridor, and Pedestrian-Oriented Spaces within the Planned Development Area must be at least 2 foot-candles (also see Chapter 3). Parking areas must average at least 1 foot-candle. Parking lot pathways must be average at least 2 foot-candles.
2. The color of light should be considered in the lighting design. For example, metal halide is recommended for general usage at building exteriors, parking areas, and pedestrian courts as well as in streetlamps and for lighting street trees. Low-pressure sodium, which casts a yellow light, is not recommended except for streets and parking lots.
3. Uplighting on trees and provisions for seasonal lighting are encouraged.
4. All efforts to reduce glare into the North Kelsey planning area and surrounding community from street and parking area lights should be undertaken.
5. Accent lighting on architectural and landscape features is encouraged to add interest and focal points.
6. Pedestrian-scaled lighting is required within the planned development area along all streets and in all public plazas and courts. Pedestrian-scaled lighting fixtures are generally 12-14 feet and of a character complementary to the building architecture.
7. Parking area lighting shall not exceed 25 feet in height and shall be baffled to minimize glare and spillage into the surrounding community.

# Definitions

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*Articulation* – Articulation is design emphasis placed on a particular architectural feature by special details, materials, change in building plane (recessed or extended from building surface), contrast in materials, or decorative artwork.

*Blank Walls* - Walls subject to "blank wall" requirements meet the following criteria:

- Any wall or portion of a wall that has a surface area of 400 SF of vertical surface without a window, door, building modulation as defined below or other architectural feature (see figure below for measuring methods).
- Any ground level wall surface or section of a wall over 4' in height at ground level that is longer than 15' as measured horizontally without having a ground level window or door lying wholly or in part within that 15' section (see below).

*Human Scale* - The term "human scale" refers to the perceived size of a building relative to a human being. A building is considered to have "good human scale" if there is an expression of human activity or use that indicates the buildings size. For example, traditionally sized doors, windows, and balconies are elements that respond to the size of the human body, so these elements in a building indicate a building's overall size.

*Modulation* - In the design guidelines, modulation is a stepping back or projecting forward of portions of a building face within specified intervals of building width and depth, as a means of breaking up the apparent bulk of a structure's continuous exterior walls.

*Pathways* – Refer to any pedestrian route other than a *sidewalk*.

*Pedestrian-Oriented* - Can be small to large widening of walking space, landscaped areas, areas for outdoor dining, or small play areas (see guidelines and requirements for *Pedestrian-Oriented Spaces* in Chapter 3).

*Sidewalks* - Refer to concrete pedestrian routes adjacent to public right-of-ways.

*Weather Protection* – Architectural features such as an awning, marquee, or canopy that protects pedestrians from rain and sunlight.

**MONROE CITY COUNCIL**

***Agenda Item Cover Sheet***

<b>TITLE:</b>	<b><i>Ordinance Adopting Roosevelt Road Rezoning RZ2011-01/1<sup>st</sup> Reading</i></b>
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<b>DATE:</b>	<b>DEPT:</b>	<b>CONTACT:</b>	<b>PRESENTER:</b>	<b>ITEM:</b>
10/23/12	Public Works/ Planning		Paul Popelka	<b>New Business #3</b>

<b>COUNCIL GOAL:</b>	<i>(if applicable)</i>
<b>OBJECTIVE:</b>	

**Discussion:** Joint Meeting with Planning Commission 02/07/2012;  
02/21/2012

**Public Hearing – Plan. Com.:**

**Public Hearing – Council:** 10/16/12

**First Reading:** 10/23/12

- Attachments:**
1. Proposed Ordinance
  2. Exhibit A: Aerial Map
  3. Exhibits B: Findings and Conclusions

**DESCRIPTION/BACKGROUND**

This property of 71 acres, located east of Roosevelt Road and west of the Foothills, was annexed in 2007 with a zoning classification of UR9600-Urban Residential. In 2010, the Council approved a Comprehensive Plan Amendment (CPA2010C) changing the land use designation from R2-5 to R5-7 Dwellings per Acre. The rezoning action to follow that new designation would change the zoning from UR9600 to UR6000 for compliance with the adopted Comprehensive Plan designation.

**Public Hearing**

Council held a public hearing was held on October 16, 2012. Two citizens asked questions, one related to sanitary sewer and one to a future subdivision. In the past, issues related to this rezoning and future development included access, potential traffic impacts (particularly at the US2-Roosevelt intersection), availability of City services and utilities, and critical areas within the property.

**Development Proposal**

The City has received an application for Bear Mountain, a preliminary plat for a Planned Residential development of up to 72 lots in the southeast area of the Roosevelt Road land area immediately west and north of the Foothills. The development proposal is based on zoning density for UR6000.

**IMPACT – BUDGET**

## **IMPACT – SERVICE DELIVERY**

### **TIME CONSTRAINTS**

The rezoning will resolve the lack of consistency with the Comprehensive Plan designation for this property. The proposed Planned Residential Development is also based on zoning for UR6000. Pending rezoning approval, the developer is expected to break ground in 2013.

### **RECOMMENDED ACTION**

Motion to accept as first reading the ordinance rezoning the Roosevelt Road property from UR9600 to UR6000.

**ORDINANCE NO. XXX/2012**

AN ORDINANCE OF THE CITY OF MONROE, WASHINGTON AMENDING THE MONROE ZONING MAP (RZ2011-01) FOR APPROXIMATELY 71 ACRES LOCATED IN THE ROOSEVELT ROAD AREA FROM UR9600 URBAN RESIDENTIAL TO UR6000 URBAN RESIDENTIAL, PROVIDING FOR SEVERABILITY AND FIXING A TIME WHEN THE SAME SHALL BECOME EFFECTIVE.

WHEREAS, the City Council adopted a Comprehensive Plan Amendment in 2010 for the R5-7 Dwelling Units per Acre land use designation for the Roosevelt Road area;

WHEREAS, the City Council initiated a request to initiate an amendment to the Zoning Map to rezone the Roosevelt Road area property in the area indicated in the attached Zoning Map, attached as Exhibit A and incorporated by this reference as if set forth in full;

WHEREAS, the City provided notice of the proposed Zoning Ordinance Amendment on the City's webpage, posting at City Hall, through direct mailing, and publication of hearing notices in the Monroe Monitor;

WHEREAS, the City Council held a duly advertised public hearing to consider the proposed Zoning Ordinance Amendment on October 16, 2012;

WHEREAS, the City Council finds that the proposed Zoning Ordinance Amendment is in the public interest and are further consistent with the Comprehensive Plan;

WHEREAS, the City Council adopts the Findings and Conclusions hereto attached as Exhibit B and incorporated by this reference as if set forth in full;

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF MONROE, WASHINGTON, DO ORDAIN AS FOLLOWS:

Section 1. Adoption of Zoning Map Amendment (RZ2011-01). The zoning to classify UR6000 Urban Residential as identified in the whereas clauses above and the Zoning Map is amended as depicted in Exhibit A. The Council approves this amendment.

Section 2. Findings, Conclusions, and Analysis. The City Council adopts the adopts the Findings and Conclusions attached hereto as Exhibit B and incorporated by this reference as if set forth in full.

Section 3. Severability. If any section, sentence, clause or phrase of this ordinance should be held to be invalid or unconstitutional by a court of competent jurisdiction, such invalidity or unconstitutionality shall not affect the validity or constitutionality of any other section, sentence, clause or phrase of this ordinance.

Section 4. Effective Date. This ordinance, being an exercise of a power specifically delegated to the City legislative body, is not subject to referendum and shall take effect five (5) days after passage and publication of an approved summary thereof consisting of the title.

PASSED by the City Council and APPROVED by the Mayor of the City of Monroe at a regular meeting held this 6<sup>th</sup> day of November 2012.

1st Reading:	10/23/2012	CITY OF MONROE, WASHINGTON
2nd Reading:	11/06/2012	
Published:	11/13/2012	
Effective:	11/18/2012	

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Robert G. Zimmerman, Mayor

ATTEST/AUTHENTICATED:

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Eadye Martinson, Deputy City Clerk

APPROVED AS TO FORM:

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J. Zachary Lell, City Attorney



**EXHIBIT B**  
**Roosevelt Road Rezoning (RZ2011-01)**  
**October 2012**

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**FINDINGS AND CONCLUSIONS**

The proposed zoning map amendment is analyzed under the procedures and criteria outlined below.

**FINDINGS**

**Compliance with Chapter 18.99 MMC (Rezoning Procedures) and Rezone Application Criteria**

City staff reviewed the application under the following application criteria:

1. This proposed zoning change shall be in keeping with the goals and policies of the Comprehensive Plan.
2. This proposed zoning change shall be in keeping with the purposes of the Zoning Code and the existing land uses of surrounding properties.
3. This proposed rezone reflects changes in economic patterns, social customs, policy changes and other factors that affect the character of the area.
4. This proposal will be assessed as to its impact on safety, welfare, public health, property values and other factors.

**Goals and Policies of the Comprehensive Plan**

**Land Use Goals**

LUG1 - To pursue well-managed, orderly expansion of the City and actively influence the character of the City by managing land use change and by developing City regulations, facilities and services in a manner that directs and controls land use patterns and intensities.

LUG-3 - Accommodate the city's expected growth in a way that enhances its character, quality of life and economic vitality.

LUG-5 - Promote the small-town atmosphere of the City by providing that new residential development must be compatible with the present housing stock, yet provide for a broad range of housing types and densities.

LUG-7 - Encourage development both within and outside the corporate limits of Monroe to be consistent with the goals and policies of the Comprehensive Plan.

**Economic Development Goals**

EDG-1 - Promote a strong, diversified, and sustainable local and regional economy, respecting the natural environment and preserving or enhancing the quality of life in the community.

EDG-1 - Encourage economic development activities which take into consideration the capacities of the area's natural resources, public services, and facilities.

## Housing Goals

HO-G1 - Promote a variety of residential densities and housing types to encourage an adequate choice of attractive living accommodations to persons desiring to reside in Monroe.

HO-G3 - Promote strong residential neighborhoods through investments in physical improvements intended to enhance neighborhood identity and through public policy decisions intended to protect and preserve existing neighborhoods.

HO-G5 - Encourage the maintenance and creation of healthy residential neighborhoods as well as the revitalization of those that are declining.

## **Purposes of the Zoning Code**

The proposed zoning classification fully support the purpose, density and character of existing residential areas by classifying this areas as UR6000 Urban Residential.

## **Changes in Economic Patterns, Social Customs, Policy Changes and Other Factors**

The proposed zoning classification reflects changes in economic patterns, social customs, policy changes and other factors by establishing zoning and uses that will be compatible with existing land uses. This proposal will also address the city's housing capacity shortfall.

## **Impact on Safety, Welfare, Public Health, Property Values and Other Factors**

Potential impacts to services, welfare, and public health were assessed. The proposed zoning will increase transportation demands, but is not likely to affect public services and utilities. The area is currently served by the Roosevelt Water Association. The proposed intensities fall within the capacity range for the city's sewer, water and stormwater systems. Police and fire coverage will not likely increase dramatically.

## **Consistency with the Chapter 20.04 MMC (SEPA)**

The SEPA Official issued a determination of Categorical Exemption from SEPA on March 19, 2011. The comment/appeal period has expired and the city received no comments or appeals.

The SEPA Official will review any subsequent project specific actions for potential impacts and issue threshold determinations as required.

## **Consistency with the Chapter 36.70A (Growth Management Act)**

The proposal addresses the following Planning Goals listed in RCW 36.70A.020:

- Urban Growth
- Reduce Sprawl
- Transportation
- Housing
- Economic Development
- Environment
- Citizen Participation
- Public Facilities and Services

RCW 36.70A.215 directs jurisdictions facing deficiencies to develop “reasonable measures” to reduce projected deficiencies. The city identified implemented measures modeled after the “Reasonable Measures List” found in the Snohomish County Tomorrow Countywide Planning Policies (2007).

**Public Notice**

The city has provided notice through the City’s webpage, posting at City Hall, direct mailing to property owners, and publication of hearing notices in the Monroe Monitor.

**CONCLUSIONS**

The proposed zoning is in keeping with the goals and policies of the Comprehensive Plan, the purposes of the Zoning Code and existing land uses, economic patterns, social customs, policy changes. There are no measureable impacts to safety, welfare, public health, or property values.

The proposed zoning is consistent with Chapter 20.04 MMC and Chapter 197-11 WAC; has met Growth Management Act requirements; and has met noticing requirements.

**MONROE CITY COUNCIL**

***Agenda Item Cover Sheet***

<b>TITLE:</b>	<i>Ordinance/Short Plat Extension ZCA2012-08/1<sup>st</sup> Reading</i>
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<b>DATE:</b>	<b>DEPT:</b>	<b>CONTACT:</b>	<b>PRESENTER:</b>	<b>ITEM:</b>
10/23/12	Public Works/ Planning		Paul Popelka	<b>New Business #4</b>

<b>COUNCIL GOAL:</b>	<i>(if applicable)</i>
<b>OBJECTIVE:</b>	

**Discussion:** 10/16/12  
**Public Hearing – Plan. Com.:**  
**Public Hearing – Council:** 10/16/12  
**First Reading:**

**Attachments:** 1. Ordinance #XXX/2012

**DESCRIPTION/BACKGROUND**

The City is proposing to increase permit timelines and extend expiration times for short plats from a total of five years to seven years (from the date of preliminary plat approval), and extend the administrative extension of permits governed by the subdivision code from three years to five years until December 31, 2014, replacing interim rules for short plats established by ordinance #008/2011. After that time, permit timelines for all plats will revert to prior established times. With this action, short plats and final plats (subdivisions) will have similar expiration times.

The City has found that the current economic downturn has made it extremely difficult for developers to complete their development proposals. The city believes extending these timelines one more year will allow projects to be completed in a timely manner and build additional housing stock, particularly infill development in the central area of the city.

**Public Hearing**

Council held a public hearing on October 16, 2012 with no testimony from any citizens.

**IMPACT – BUDGET**

**IMPACT – SERVICE DELIVERY**

The ordinance will provide developers an opportunity to complete projects that may otherwise lapse due to inactivity or economic hardship.

**TIME CONSTRAINTS**

<b>RECOMMENDED ACTION</b> Motion to accept as first reading the ordinance extending final short plats.
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ATTACHMENT 1

ORDINANCE NO. XXX/2012

AN ORDINANCE OF THE CITY OF MONROE, WASHINGTON,  
ALLOWING FOR THE ADMINISTRATIVE EXTENSION OF FINAL  
SHORT PLATS FOR FIVE YEARS AND FIXING A TIME WHEN THE  
SAME SHALL BECOME EFFECTIVE.

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WHEREAS the 2010 state legislature extended the statutory time period for submitting final plats from five years, after preliminary plat approval, to seven years. These legislative changes end on December 31, 2014.

WHEREAS, RCW 58.17.060 allows legislative bodies to adopt regulations regarding short plats and short subdivisions;

WHEREAS, the extraordinary conditions of the current economic downturn have made it extremely difficult for developers to acquire financing to complete their development proposals; and

WHEREAS, without financing and a means to construct projects approved by the City, many development approvals may lapse due to the failure of developers to complete or substantially complete construction within specified deadlines; and

WHEREAS, the expiration of development approvals will adversely impact the economic development of the City by the loss of jobs, new residents and new commercial activity; and

WHEREAS, a temporary extension of permit expiration will alleviate the economic difficulties caused by current permit expiration standards; NOW, THEREFORE,

THE CITY COUNCIL OF THE CITY OF MONROE, WASHINGTON, DO  
ORDAIN AS FOLLOWS:

Section 1. Short Subdivision Extensions. MMC 17.32.080(B) is amended to provide that the Director of Community Development or the Mayor's designee may extend the approval of a short plat up to five years instead of three years as currently specified.

Section 2. Criteria. In lieu of the criteria currently specified for the permit extensions identified in Section 1 herein, the decision maker may grant an extension solely based on economic hardship. Applications for extension shall be in writing and filed with the Director of Community Development or the Mayor's designee prior to expiration of the permit.

Section 3. Sunset Date. The terms of this ordinance shall automatically sunset as of December 31, 2014, and shall thereafter have no force of effect whatever unless otherwise provided by subsequent attachment

Section 4. Effective Date. This ordinance, being an exercise of a power specifically delegated to the City legislative body, is not subject to referendum, and shall take effect five (5) days after passage and publication of an approved summary thereof consisting of the title.

PASSED by the City Council and APPROVED by the Mayor of the City of Monroe at a regular meeting held this 6<sup>th</sup> day of November 2012.

CITY OF MONROE, WASHINGTON:

1<sup>st</sup> Reading: 10/23/12  
2<sup>nd</sup> Reading 11/06/12  
Published: 11/13/12  
Effective: 11/18/12

\_\_\_\_\_  
Robert G. Zimmerman, Mayor

ATTEST/AUTHENTICATED:

APPROVED AS TO FORM:

\_\_\_\_\_  
Eadye Martinson, Deputy City Clerk

\_\_\_\_\_  
J. Zachary Lell, City Attorney

**Draft**

Agenda Item  
SS #1  
10/23/12

## MONROE CITY COUNCIL AGENDA

November 6, 2012

7:00 P.M.

City Council Chambers

### CALL TO ORDER

### ROLL CALL

### PLEDGE OF ALLEGIANCE

### ANNOUNCEMENTS/PRESENTATIONS

1.

### PUBLIC HEARINGS

1. First Public Hearing on 2013 Budget

### COMMENTS FROM CITIZENS

This time is set aside for you to speak to the City Council on any issue **except any quasi-judicial matter subject to a public hearing (citizens wanting to voice concerns about quasi-judicial matters must do so during the public hearing process). Those items are marked with an \***. You are welcome to address the council on any other subject. (You must sign in before the meeting starts and give your request to the City Clerk).  
**Please limit your time to 5 minutes.**

### CONSENT AGENDA

1. Minutes

A. October 16, 2012 Business Meeting

B. October 23, 2012 Study Session

2. Accounts Payable & Payroll

A. Bills

3. Ordinance Amending MMC Chapter 18.10, North Kelsey Design Guidelines/2nd & Final Reading

4. Accept the Public Works Contract E. Main Street/Old Owen Road Water Main Pipe Bursting and Begin the 45-Day Lien Period

5. Ordinance Adopting Roosevelt Road Rezoning Classification RZ2011-01/ 2nd & Final Reading

6. Ordinance/Short Plat Extension/ ZCA2012-08/2nd & Final Reading

### NEW BUSINESS

1. Ordinance Setting Property Tax Levy/1st Reading

2. Presentation of General Fund & Internal Service Funds Budget

3. Introduction: CPA2013-D School Mitigation Fees

4. Refunding School Mitigation Fees

### FINAL ACTION

1. To Receive & Evaluate Complaints or Charges Brought Against a Public Officer or Employee

### COUNCILMEMBER REPORTS

### MAYOR/ADMINISTRATIVE STAFF REPORTS

1. Draft Agenda/November 13, 2012 Study Session

### EXECUTIVE SESSION

1. If needed.

### ADJOURNMENT (majority vote to extend past 10:00 p.m.)

**THE CITY COUNCIL MAY ADD AND TAKE ACTION ON OTHER ITEMS NOT LISTED ON THIS AGENDA**

**Accommodations for people with disabilities will be provided upon request.**

**Please call City Hall at (360) 794-7400. Please allow one-week advance notice.**